INDEX OF DRAWINGS

SHEET	DWG	
NO.	NO.	DRAWING TITLE
1.	CS0001	COVER SHEET
2.	CS0002	NOTES AND LEGEND
3.	CS0201	EXISTING CONDITIONS PLAN
4.	CS0202	EXISTING CONDITIONS PLAN - SITE VIEW
5.	CS1001	LAYOUT AND MATERIALS PLAN
6.	CS1501	GRADING AND DRAINAGE PLAN
7.	CS1701	UTILITY PLAN
8.	CS2701	VEHICLE TURNING PLAN - LADDER TRUCK
9.	CS6001	SITE DETAILS
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11.	CS6021	DRAINAGE DETAILS
12.	CS6022	STORMWATER STORAGE SYSTEM DETAILS
13.	CS6051	UTILITY DETAILS
14.	CS7001	LANDSCAPE & LIGHTING PLAN
15.	CS7002	LANDSCAPE & LIGHTING DETAILS
16.	CS8001	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
17.	CS8002	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
18.	CS8501	EROSION AND SEDIMENT CONTROL DETAILS
19.	CS8502	EROSION AND SEDIMENT CONTROL DETAILS
20.	CS9001	INSPECTION AND MAINTENANCE PLAN

NOTE:

1. APPROVAL OF THIS PLAN REQUIRES A SPECIAL EXCEPTION BE GRANTED BY THE ZONING BOARD.

NEW HAMPSHIRE FISH AND GAME AOT PERMIT CONDITIONS **RELATED TO THREATENED AND ENDANGERED SPECIES:**

- THERE IS A POTENTIAL FOR WOOD TURTLES (STATE SPECIES OF SPECIAL CONCERN) TO BE WITHIN THE PROJECT VICINITY. OBSERVATIONS OF THESES SPECIES SHALL BE REPORTED IMMEDIATELY, PARTICULARLY DURING NESTING SEASON (MID-MAY THROUGH THE END OF JUNE) TO NHFG TO MELISSA DOPERALSKI (CELL/TEXT) 603-479-1129 OR JOSH MEGYESY AT 978-578-0802. SITE OPERATORS SHALL BE PROVIDED THE IDENTIFICATION FLYER AND NHFG CONTACT INFORMATION. SEE PLAN SHEET 6 (CS1001) FOR SPECIES IDENTIFICATION INFORMATION.
- TO AVOID IMPACTS TO RARE TURTLES, SOIL DISTURBANCE SHALL BEGIN AFTER OCTOBER 1 OR PRIOR TO MAY 15 TO AVOID DISTURBING POTENTIAL NESTING TURTLES, HATCHLINGS, OR ADULT FEMALES.
- A SILT FENCE SHALL BE INSTALLED AROUND THE PROJECT AREA FOOTPRINT PRIOR TO MAY 15 TO EXCLUDE FEMALE WOOD TURTLES WHO MAY BE ATTRACTED TO OPEN DISTURBED SOILS THAT WOULD RESULT FROM PROJECT ACTIVITIES. ALL TURTLE SPECIES NESTS ARE PROTECTED BY NEW HAMPSHIRE LAW. SEE PLAN SHEET 15 (CS8001) FOR MORE DETAILS.
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES <u>SHALL BE REPORTED IMMEDIATELY</u> TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 4. AND BY EMAIL AT <u>NHFGREVIEW@WILDLIFE.NH.GOV</u> EMAIL SUBJECT LINE: NHB19-4037, ROUTE 103 WEST COMMERCIAL DEVELOPMENT, WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE.
- THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, AND INLET PROTECTION, CHECK DAMS, SEDIMENT TRAPS, AND SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH. SEE PLAN SHEETS 15, 16, 17 (CS8001, CS8002, CS8501)

SITE PLAN **9 ROUTE 103 WEST**

ASSESSOR'S MAP 35 LOT 4-3 WARNER, NH 03278 DATE: AUGUST 8, 2022

> **PREPARED FOR:** COMET, LLC 84 RANGE ROAD **WINDHAM**, NH 03087



LOCUS MAP 1"= 350'



USGS N.T.S

PREPARED BY:

RANGER ENGINEERING GROUP, INC

Ranger Engineering Group, Inc.

13 Red Roof Lane, Suite 203 Salem NH, 03079 Tel: 978-208-1762 rangereng.com

WARNER PLANNING BOARD CH

DATE:

	100 100				
MAP					
<u> </u>		DATE	NO.	REVISIONS	BY
	LOT	COMET	ASS , LLC GE RO/	SITE PLAN E 103 WEST, WARNER NH ESSOR'S MAP 35 LOTS 4-3 AD, WINDHAM, NH 03087 VER SHEET CS0001	,
HAIRMAN:		1, S T	3 Red alem el: 97	Pr Engineering Group, Inc. Roof Lane, Suite 203 NH, 03079 8-208-1762 eng.com	
	DATE: 2022-08-08	SCA	LE:	SHEET 1	OF 20



	LEGEND	
EXISTING		PROPOSED
	BUILDING	
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	ADJACENT PROPERTY LINE	
	SETBACK LINE	
	EASEMENT LINE	
× × ×	WOOD FENCE	
	CONCRETE	
	RIP RAP	
• • • • •	BIT. CONC. PAVEMENT	
	SIGN	-0-
	BOLLARD	•
46.34 x	SPOT ELEVATION	⊕ ^{46.35}
50	CONTOUR	
W W W	WATER LINE DOMESTIC	w w
	SANITARY SEWER	s s
D D	STORM SEWER	D D
OE OE	OVERHEAD ELECTRIC	OE OE
UGUG	UNDERGROUND GAS	
Q	UTILITY POLE	à
S	SANITARY MANHOLE	S
	SANITARY SEWER CLEANOUT	0
\bigcirc	STORM DRAIN MANHOLE	D
Ħ	STORM DRAIN INLET	
	STORM DRAIN FLARED END SECTION	
	STORM DRAIN CLEANOUT	Ø
-0-	FIRE HYDRANT	-¢-
101	WATER VALVE	Nant
	TREE LINE	
	CONIFEROUS TREE	
\bigcirc	DECIDUOUS TREE	
	CONSTRUCTION ENTRANCE	
	SILT SACK	\oslash
	EROSION CONTROL	EC
	HANDICAP MARKING	Ġ.
	DETECTABLE WARNING STRIP	00000
	STONE BOUND	•

CONSTRUCTION NOTES:

1. <u>CONSTRUCTION</u>

TOPSO Α. EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM ROADWAY AND BUILDING AREAS AND STOCKPILED.

- B. TREES AND STUMPS:
- TREES AND STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER. STUMPS SHALL NOT BE BURIED ON SITE.

2. <u>MATERIALS</u>

- A. BITUMINOUS CONCRETE PAVEMENT:
- PARKING AREAS:

SURFACE COURSE:	1-1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1
WEARING COURSE	
BINDER COURSE:	2-1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1
BINDER COURSE	
GRAVEL BASE COURSE:	4 INCHES COMPACTED DENSE GRADED CRUSHED STONE FOR
SUB-BASE (NH 300.304)	
	8 INCHES COMPACTED SUB-BASE

B. LANDSCAPE AREAS:

DISTURBED AREAS NOT COVERED BY STRUCTURES OR PAVEMENT AND NOT OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN SHALL RECEIVE 6 INCHES OF TOPSOIL. THESE AREAS ARE TO BE SEEDED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. LANDSCAPE AREAS ADJACENT TO THE BUILDING SHALL BE FINISHED WITH 3" OF 1-1/2" RIVER ROCK.

C. TRAFFIC CONTROLS:

ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)

D. ADA CONFORMANCE:

ALL HANDICAPPED ACCESSIBLE RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE STATE OF NEW HAMPSHIRE'S ADA REASONABLE ACCOMMODATION POLICY, WHICHEVER IS, WHICHEVER IS MORE RESTRICTIVE.

- 4. <u>UTILITIES</u>
- A. EXISTING UTILITIES:

THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON THE SURVEY NOTED ABOVE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING STRUCTURES.

B. PRIVATE UTILITIES:

THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE OR ELECTRIC). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION OR DEMOLITION.

C. STORM DRAINAGE:

STORM DRAIN PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH CORRUGATED EXTERIOR, SMOOTH LINED (n=0.013) WITH SOIL TIGHT JOINTS UNLESS OTHERWISE NOTED ON THE GRADING & DRAINAGE PLAN.

D. PROPOSED STRUCTURES:

RIM ELEVATIONS OF PROPOSED DRAINAGE MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS. ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLAN. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.

AS-BUILT NOTES:

1. PROJECT REQUIRED TO BE CERTIFIED BY A QUALIFIED ENGINEER TO CONFIRM THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS OR THAT DEVIATIONS WERE MADE WHICH DID NOT REQUIRE AN AMENDED OR NEW PERMIT.

ABBREVIATIONS

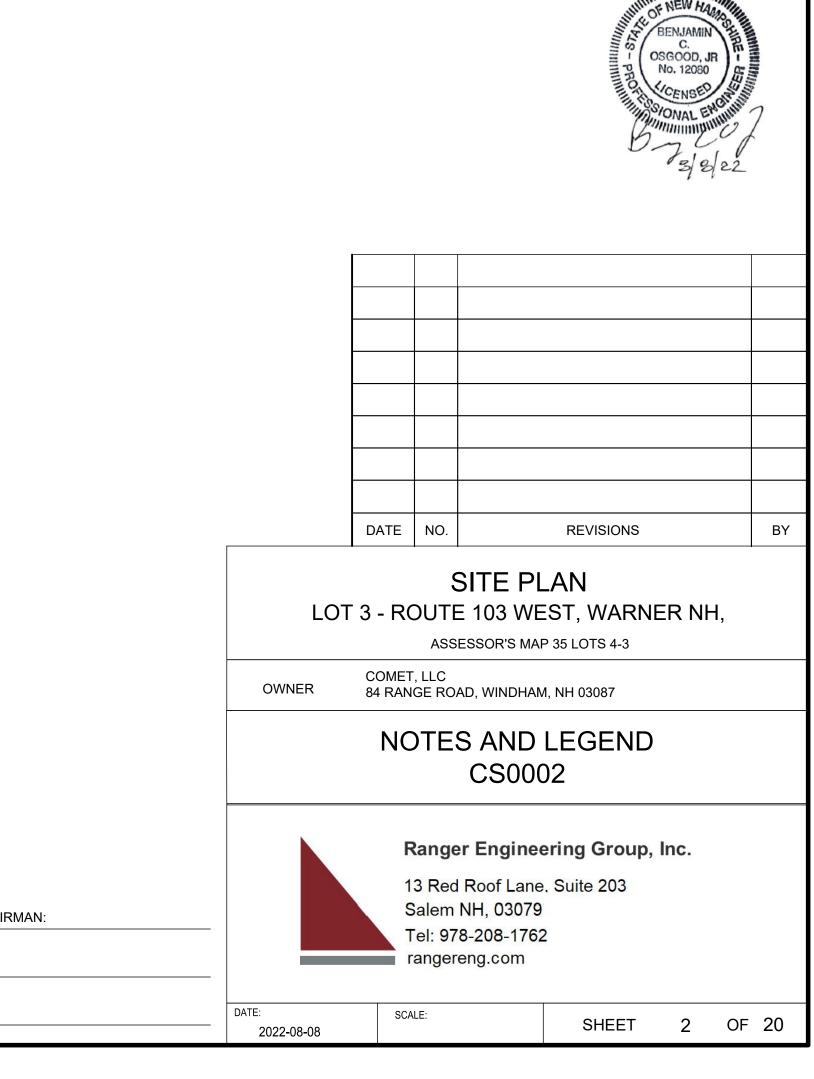
NTS

NOT TO SCALE

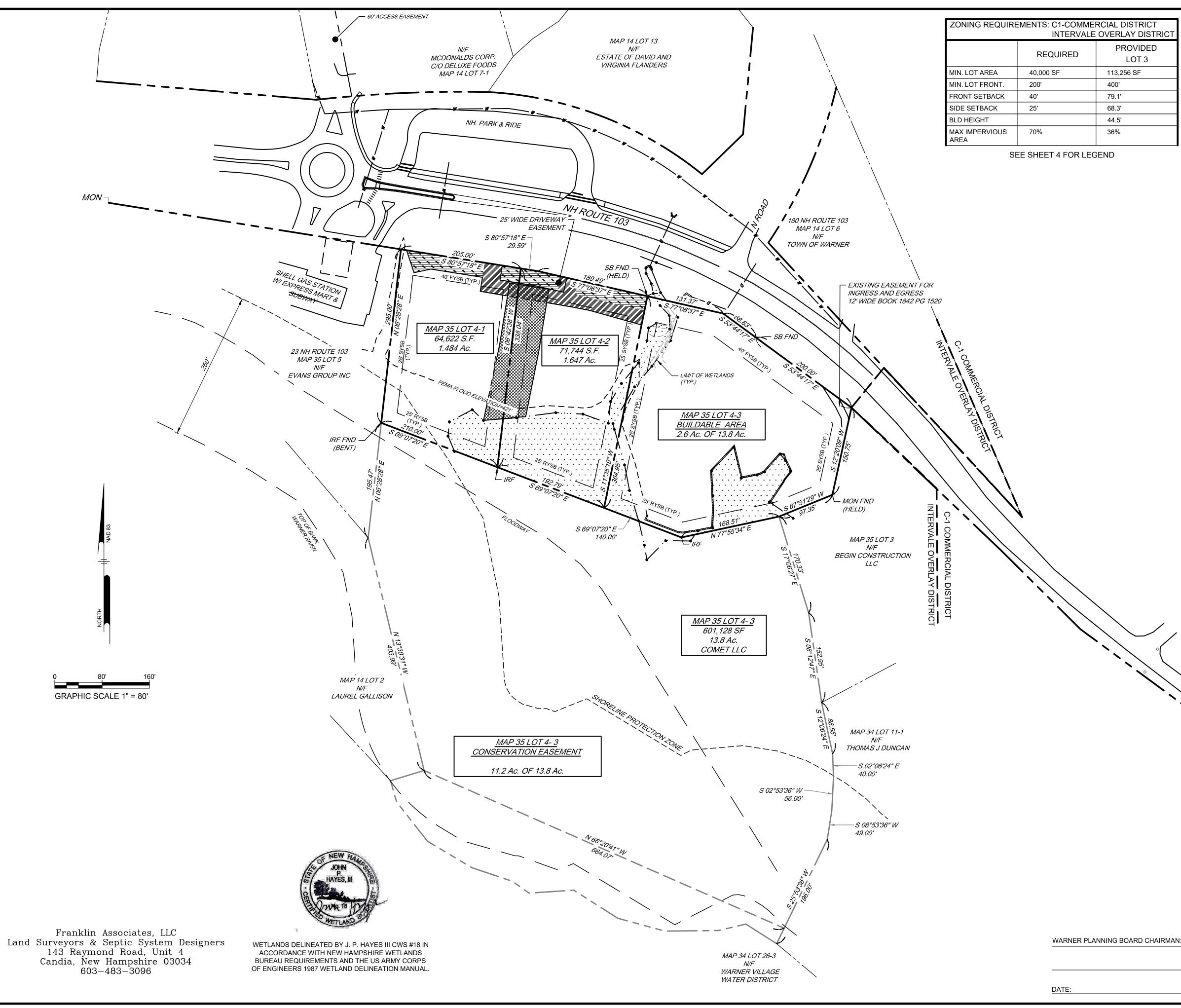
BIT	BITUMINOUS	OCS	OUTLET CONTROL STRUCTURE
СВ	CATCH BASIN	OE	OVERHEAD ELECTRIC
CONC	CONCRETE	PC	POINT OF CURVATURE
DH	DRILL HOLE	PCC	PRECAST CONCRETE CURB
DMH	DRAIN MANHOLE	PERF	PERFORATED
ELEV	ELEVATION	PRC	POINT OF REVERSE CURVE-CURVE
ESHGW	ESTIMATED SEASONAL HIGH GROUND WATER	PROP	PROPOSED
EXIST	EXISTING	PT	POINT OF TANGENT
		PVC	POLYVINYL CHLORIDE PIPE
FND	FOUNDATION	RCP	REINFORCED CONCRETE PIPE
FES	FLARED END SECTION	SMH	SEWER MANHOLE
GF	GARAGE FLOOR	STR	STRUCTURE
HDPE	HIGH DENSITY POLYETHYLENE PIPE	ТҮР	TYPICAL
HYD	HYDRANT	VGC	VERTICAL GRANITE CURB
INV	INVERT ELEVATION	ССВ	CAPE COD BERM
IP	IRON PIPE	000	
IR	IRON ROD		
MAX	MAXIMUM		
MIN	MINIMUM		

WARNER PLANNING BOARD CHAIRMAN:

DATE:







ІСТ	FLOOD ZONE INFORMATION
	SUBJECT PARCEL IS LOCATED IN ZONES AE & X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 33013C287E WHICH BEARS AN EFFECTIVE DATE OF APRIL 19, 2010. FEMA FLOOD
	ELEVATION WAS DETERMINED BY FIELD SURVEY PERFORMED BY
	RANGER ENGINEERING GROUP. FLOODWAY LINE WAS TRACED FROM
	THE ABOVE REFERENCED FEMA MAP.

SURVEY NOTES

- 1. THE LOCUS IS SHOWN ON TOWN OF WARNER ASSESSOR'S MAP 35 LOTS 4-1, 4-2, AND 4-3, LOCATED IN ZONING DISTRICT C1 COMMERCIAL AND THE INTERVALE OVERLAY DISTRICT, AND IS KNOWN AS 9 ROUTE 103 WEST.
- 2. DEED REFERENCE: BOOK 3579 PAGE 98, MERRIMACK COUNTY REGISTRY OF DEEDS.
- 3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
- 4. THE BASIS OF BEARING FOR THIS PLAN IS THE NORTH AMERICAN DATUM OF 1983 AS SHOWN ON PLAN #16243, MERRIMACK COUNTY REGISTRY OF DEEDS.
- 5. WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS AND THE US ARMY CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL.
- 6. NHDOT DRIVEWAY ACCESS PERMIT # 05-463-0034, DATED 9/9/2021.

REFERENCE DEEDS:

1. BOOK 3579 PAGE 98 MERRIMACK COUNTY REGISTRY OF DEEDS

REFERENCE PLANS:

- 1. PLAN 16243
- 2. PLAN 11670
- 3. PLAN 7757 4. PLAN 307
- 5. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT I-89-I(57)19 N.H. PROJECT NO. P-7407-C INTERSTATE ROUTE I-89 SHEETS 76, 77, 80, & 81 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION

EASEMENTS AND ENCUMBRANCES:

EXISTING CONSERVATION EASEMENT BOOK 2547 PAGE 1295 PLAN 16243

EXISTING DRIVEWAY EASEMENT BOOK 1842 PAGE 1520 PLAN 16243

EXISTING INGRESS/EGRESS EASEMENT BOOK 1842 PAGE 1520 PLAN 16243



DATE	NO.	REVISIONS	BY

SITE PLAN

LOT 3 - ROUTE 103 WEST, WARNER NH,

ASSESSOR'S MAP 35 LOTS 4-3

OWNER

COMET, LLC 84 RANGE ROAD, WINDHAM, NH 03087

EXISTING CONDITIONS PLAN CS0201



Ranger Engineering Group, Inc.

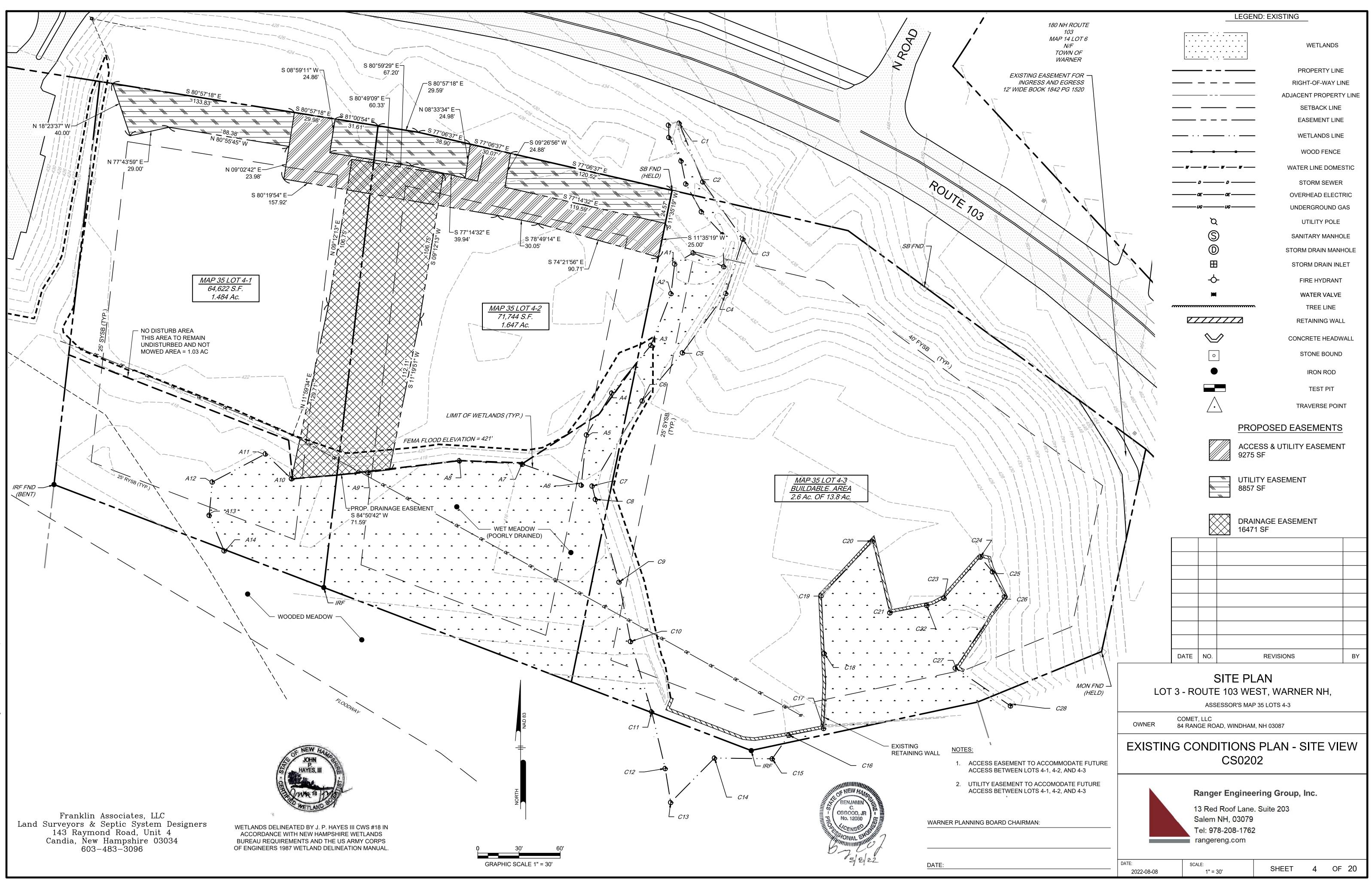
13 Red Roof Lane, Suite 203 Salem NH, 03079 Tel: 978-208-1762 rangereng.com

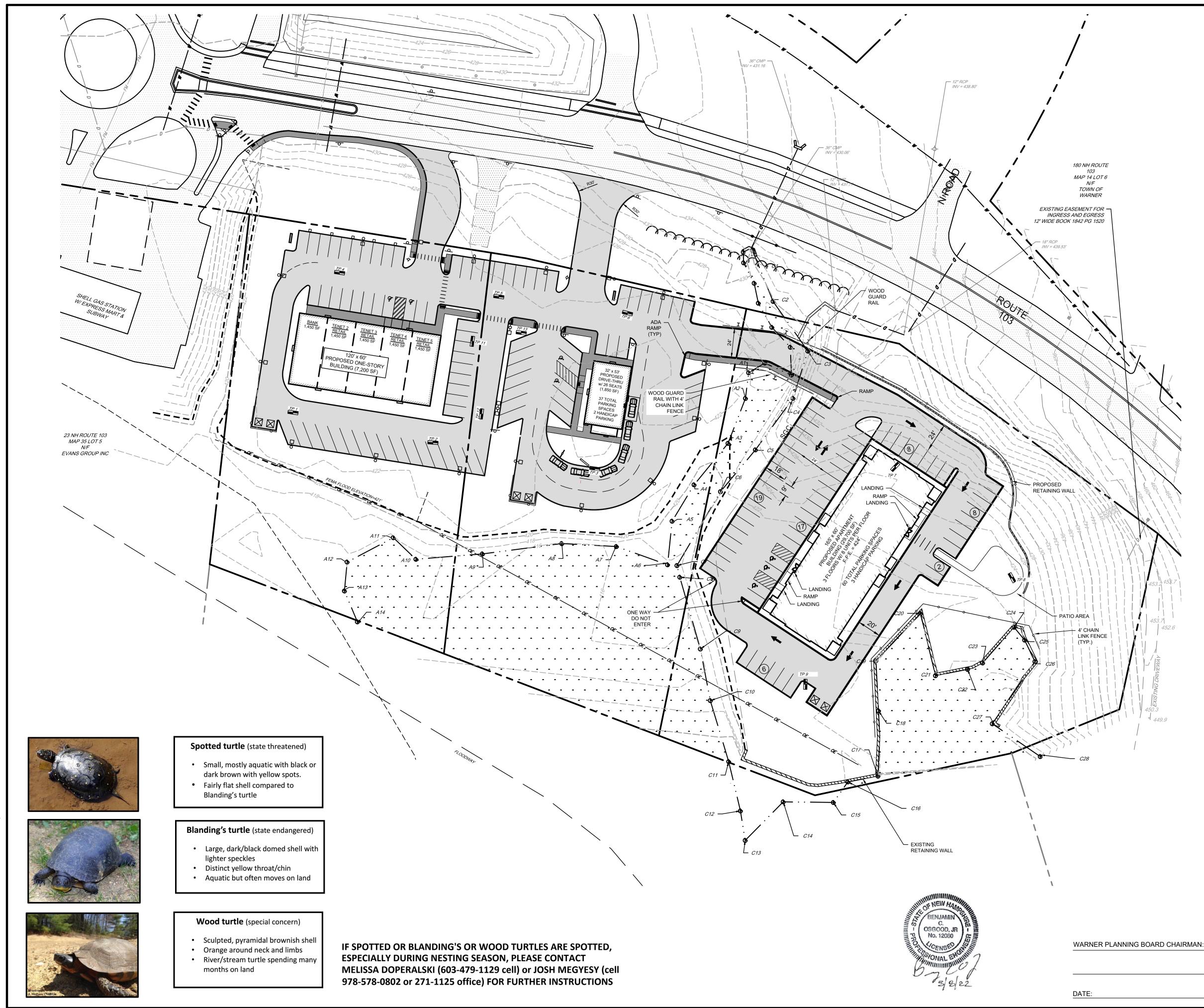
2022-08-08

DATE:

SCALE: 1" = 80'

SHEET 3 OF 20





PARKING CALCULATION:

PER SECTION XIX.B TABLE OF OFF-STREET PARKING REQUIREMENT OF THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF WARNER:

PARKING REQUIRED (MULTI UNIT HOUSING):LOT 32.5 SPACES PER UNIT = 60 SPACES REQUIRED FOR 24 UNITSTOTAL REQUIRED = 60 SPACES

FOTAL PROVIDED = 60 SPACE	S

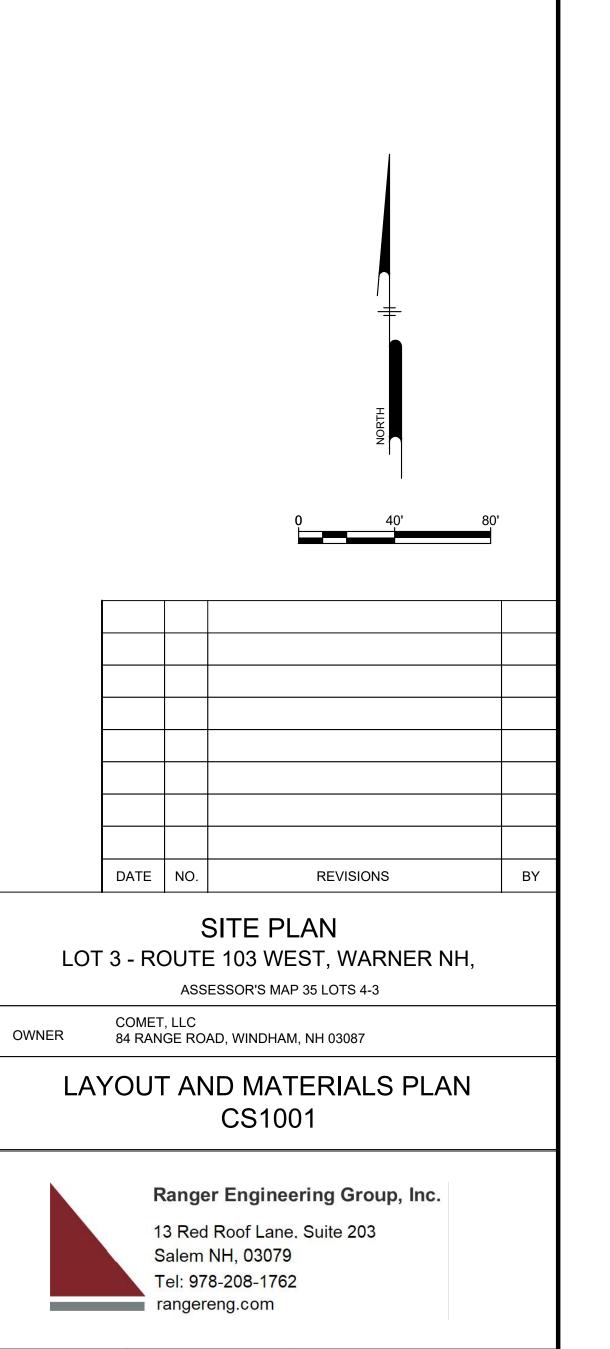
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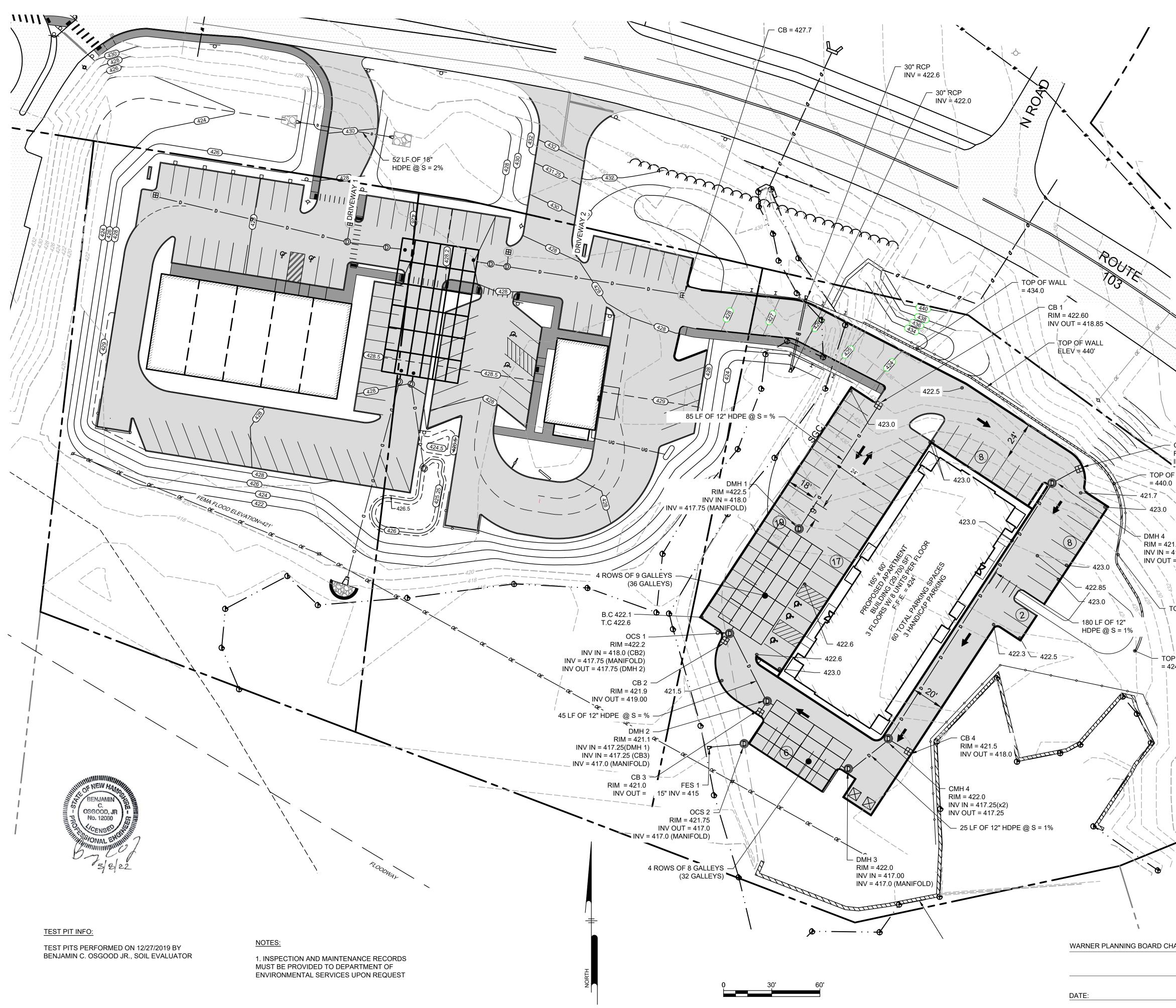
SCALE:

1" = 40'

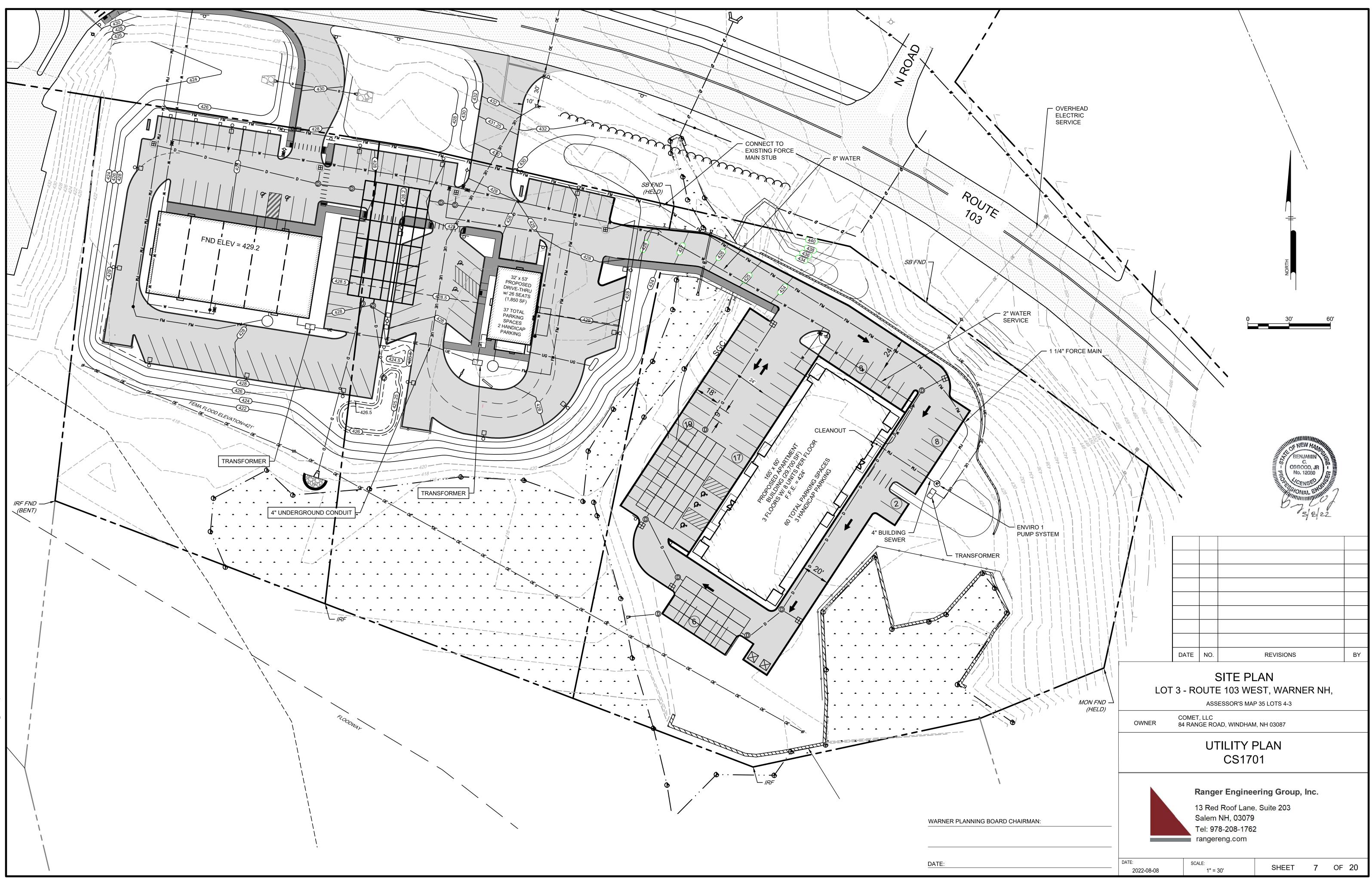
ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT INTERVALE OVERLAY DISTRICT						
	REQUIRED	PROVIDED LOT 3				
MIN. LOT AREA	40,000 SF	113,256 SF				
MIN. LOT FRONT.	200'	400'				
FRONT SETBACK	40'	40'				
SIDE SETBACK	25'	25'				
MAX IMPERVIOUS AREA	70%	36%				

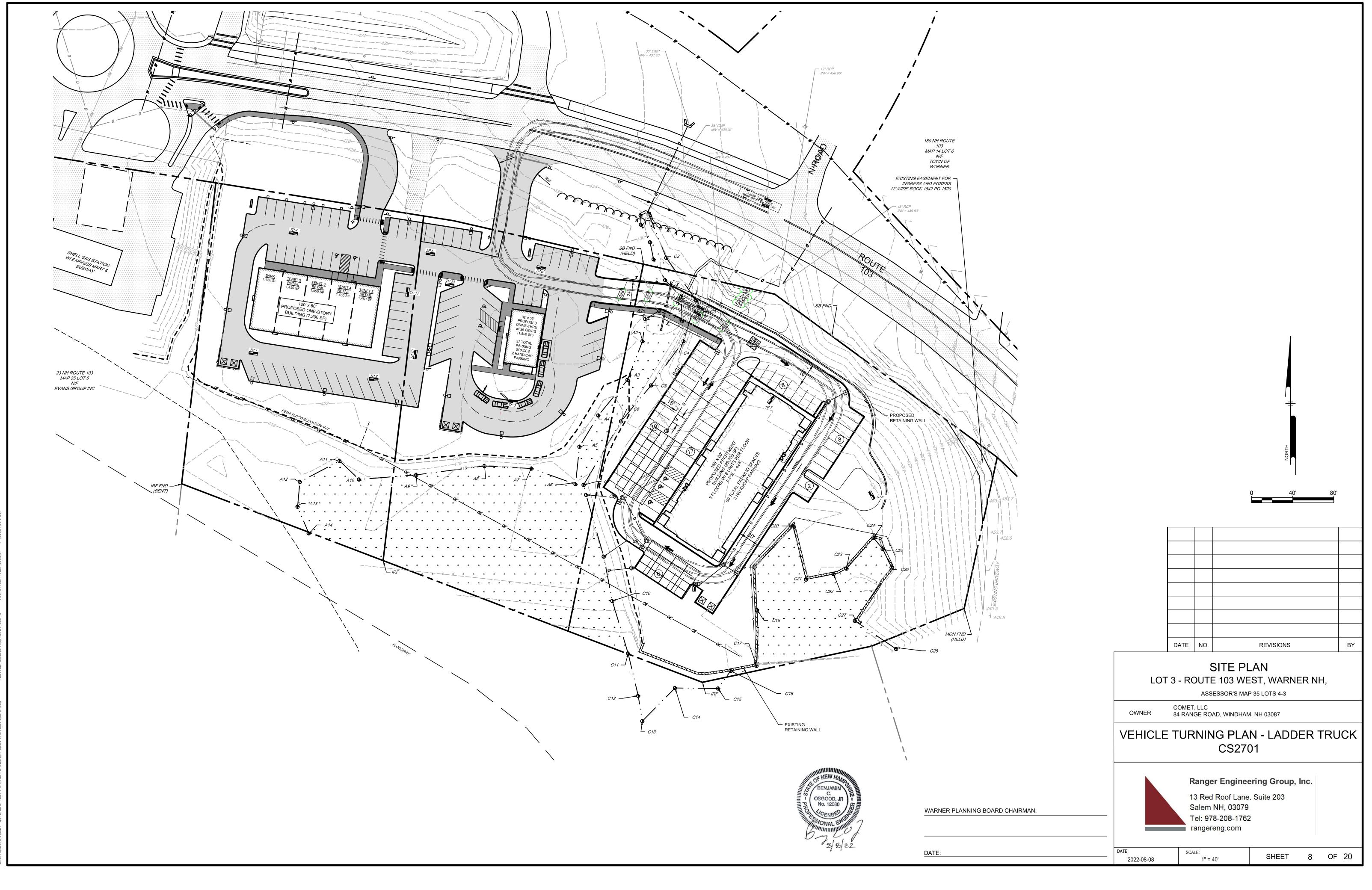


SHEET 5 OF 20

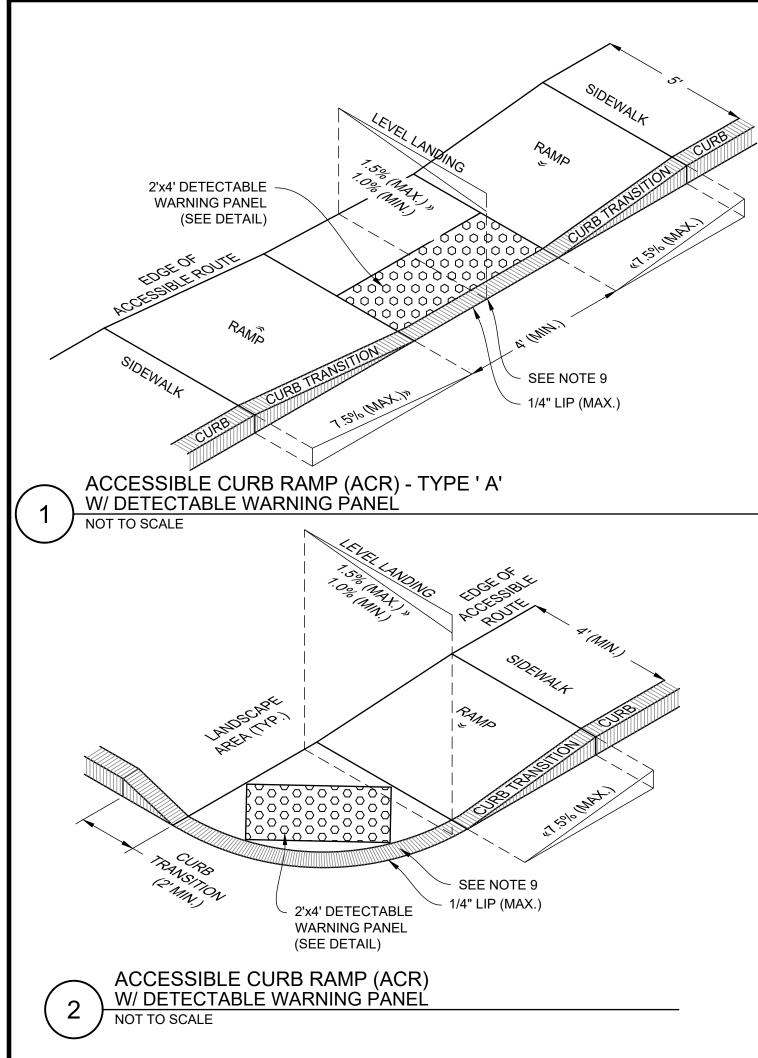


LEV 422.	25'			ESHGW 414.7	5' TC 7 -	OP ELEV 42	22.8'	-		ESHGW 416.5
ЕРТН	HORIZON	TP1 TEXTURE		MOTTLING	$\left \right $	DEPTH	HORIZON	TP5 TEXTURE		MOTTLING
-53 -90"	FILL 1 FILL 2				╡┢	0-75"	FILL			
2")8"	B C	S.L FS	10YR 4/6 7.5YR 3/3		1 E	75-96"	С	G.S	7.5YR 3/3	ESHGW @ 75
D8 PING (-			I		OP ELEV 42	23.25'	TRA		ESHGW N/
_EV 422	2.4'	TP2		ESHGW 416	-п Г	DEPTH	HORIZON	TP6 TEXTURE	COLOR	MOTTLING
тн	HORIZON	TEXTURE	COLOR	MOTTLING		0-60"	FILL			RGANIC CONTENT
" 2"	FILL 1 FILL 2				1 E	60-120" 120-123"	FILL 2 C	G.S	7.5YR 3/3	
2 00" 06"	B	L.S G.S	10YR 4/6 7.5YR 3/3		- - -	OP ELEV 42	25.0'			ESHGW 420.6
	-			REDOX @ 72]	חבחדיי	HORIZON	TP7 TEXTURE	COLOR	MOTTLING
EV 42 ⁻	1.8'	TP3		ESHGW 414	3'] [DEPTH 0-24"	FILL 1			MOTILING
тн	HORIZON	TEXTURE	COLOR	MOTTLING	1	24-60" 60-84"	A BS	L.S F.S	10YR 3/2 10YR 4/6	
6" 90"	FILL 1 FILL 2				1 E	84-96" WEEPING	C @ 60"	G.S	7.5YR 3/3	REDOX @ 52
96" 12"	B	L.S G.S	10YR 4/6 7.5YR 3/3			OP ELEV 4	23.75'			ESHGW 421.0
			10YR 5/8	REDOX @ 90		DEDTU		TP8		
EV 422.	75'	TP4		ESHGW 415.		DEPTH 0-32"	HORIZON A/B MIX	TEXTURE		MOTTLING
РТН	HORIZON	TEXTURE	COLOR	MOTTLING	1 6	32-55"	CD	SIL	5Y	
'3" 08"	FILL	L.S	10YR 4/6		тс	OP ELEV 42	1.65'			ESHGW 414.5
130"	C	G.S	7.5YR 3/3]			TP9		
		\ \				DEPTH 0-32"	HORIZON FILL	TEXTURE	COLOR	MOTTLING
\searrow		E X	/		F	32-57" 57-85"	A/B MIX C	G.S	7.5YR 3/3	
				1						
			1	/	Т	OP ELEV 42	22.5'	TP11		ESHGW 415.
	4 14				F	DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
					E	0-2" 2-38"	O FILL 1			
, ,	$\langle \rangle$				E	38-42" 42-44"	FILL 2 OLD PVMT			
				XX	F	44-60" 60-72" 72-90"	FILL 3 FILL 4 OLD A/B	GRAVELY SAND MED. SAND		
`\		<u> </u>	8		E	90-120"	C C	COURSE SAND	2.5Y 4/4	PONDING @ 9
1.5 = 419	9.5				TC	OP ELEV 42	22.5'			ESHGW 414.
				- 466 -	F			TP12		
N				XY	-	DEPTH 0-30"	HORIZON FILL 1	TEXTURE	COLOR	MOTTLING
		$\langle \langle \rangle \rangle$	462		E	30-80" 80-96"	FILL 2 OLD A/B			
		4.56		464 466		96-120"	C	G.S	10YR 2/2	
, \ , \	ASO AASO	· 454			то Г	P ELEV 423	3.00'	TP13		ESHGW 415.
1	442 - 444 9 ⁰		\mathcal{H}_{\otimes}	////	F	DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
- 441					F	0-84" 84-90"	FILL OLD A			
VALL= VALL= V VALL= V V V V V V V V V V V V V	428.0		453.2			90-120"	C	COURSE SAND		ST DONE @ 9
			453.7	 <i>452.6</i>						
					DATE	NO.		REVISIO		
				LOT		S OUTE ASSE			ARNEI	R NH,
		I	OW	GR	84 RAN	NGE ROA	ND DF	M, NH 03087 RAINA(01		LAN
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N:					1 5 7	I3 Red Salem N Tel: 978	r Engine	ering Gro e. Suite 20	_	IC.
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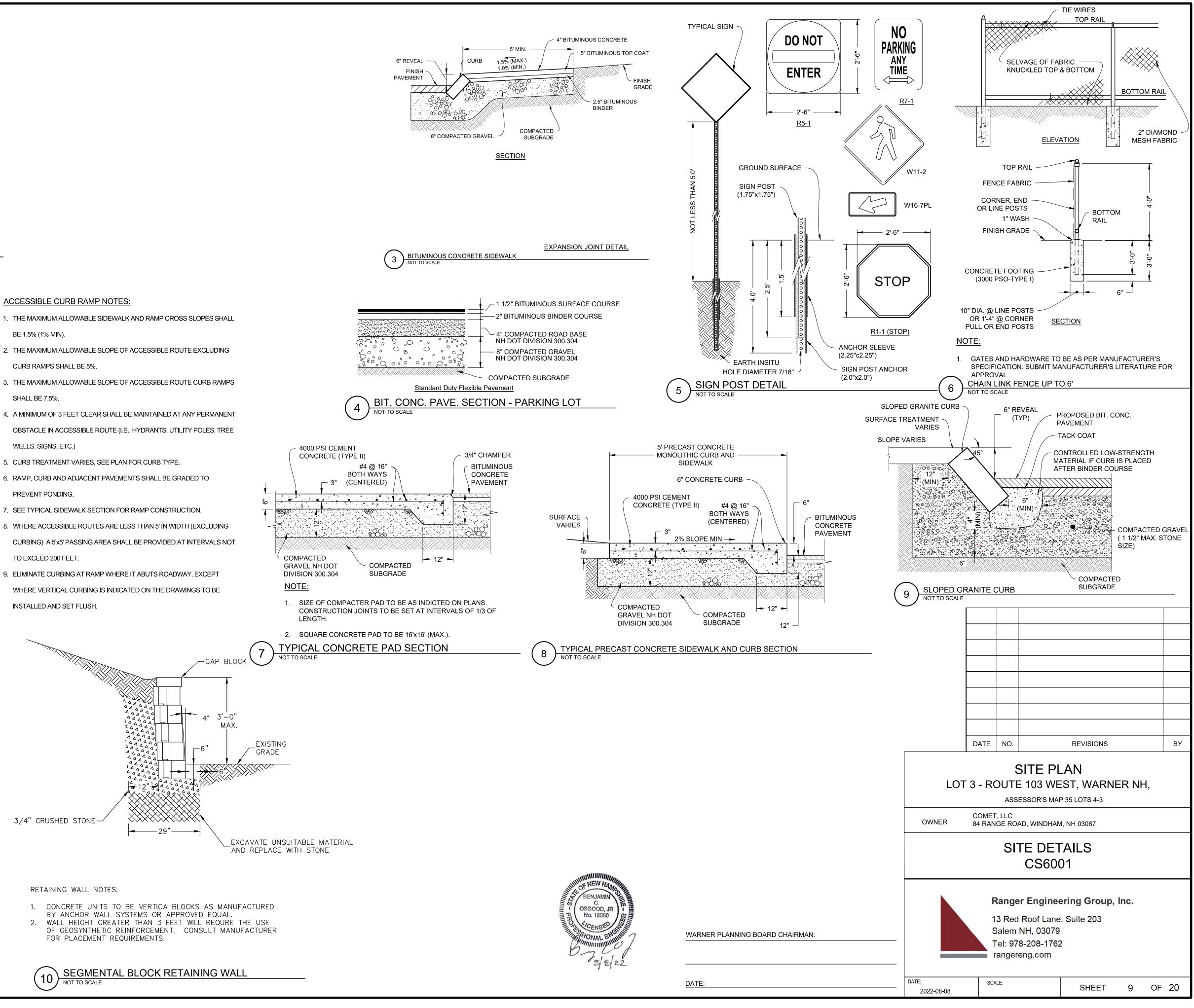


KIPROJECTSICOMET - QUINNI22-271 LOT 3 WARNER NHIDESIGNIPUBLISHIPLANSETICS2701.dwg PLOTTED: 8/8/2022 11:53 AM, BY: Cad PC PLOTSTYLE: TTI Env NCS.stb PROJECT STATU

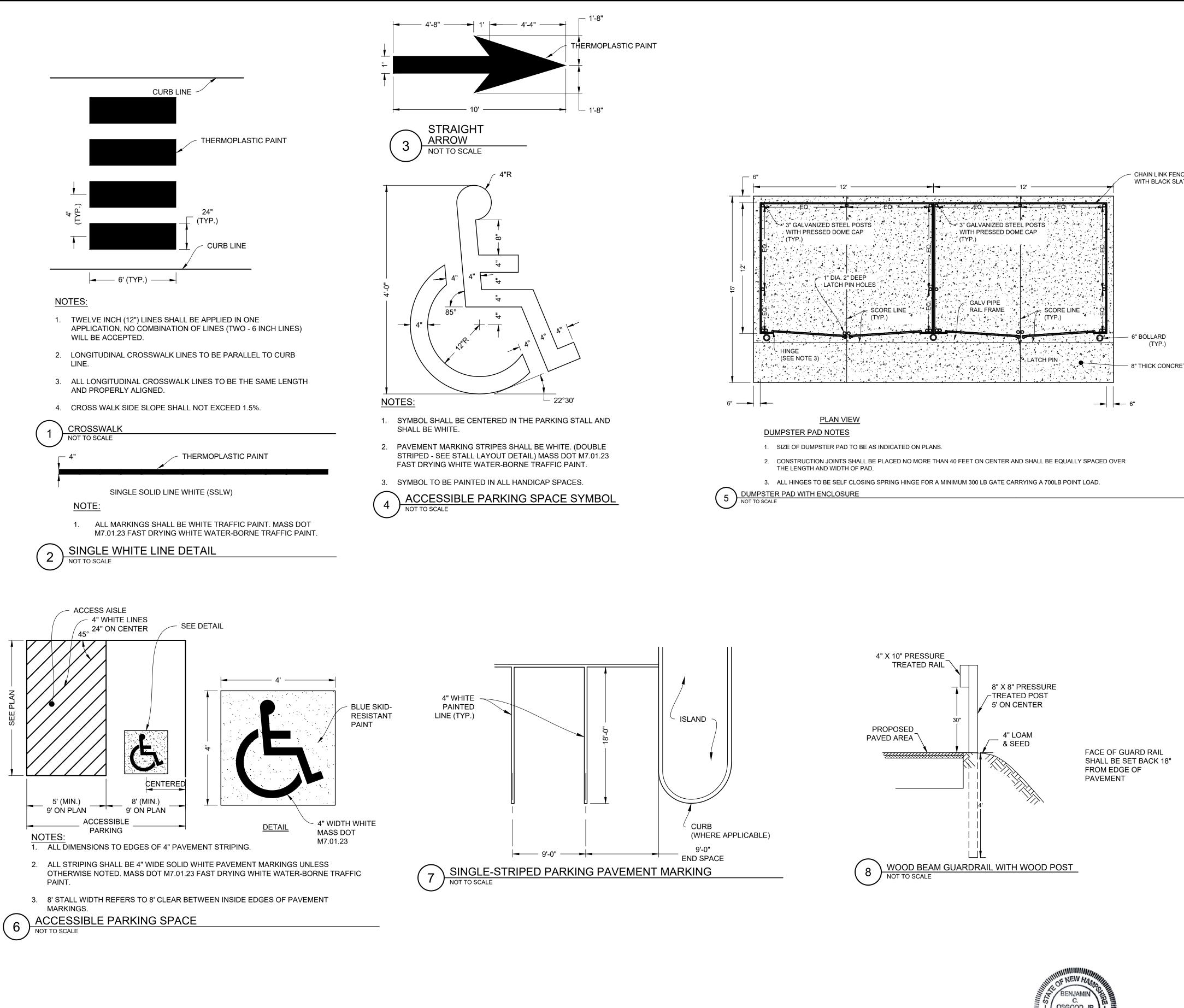


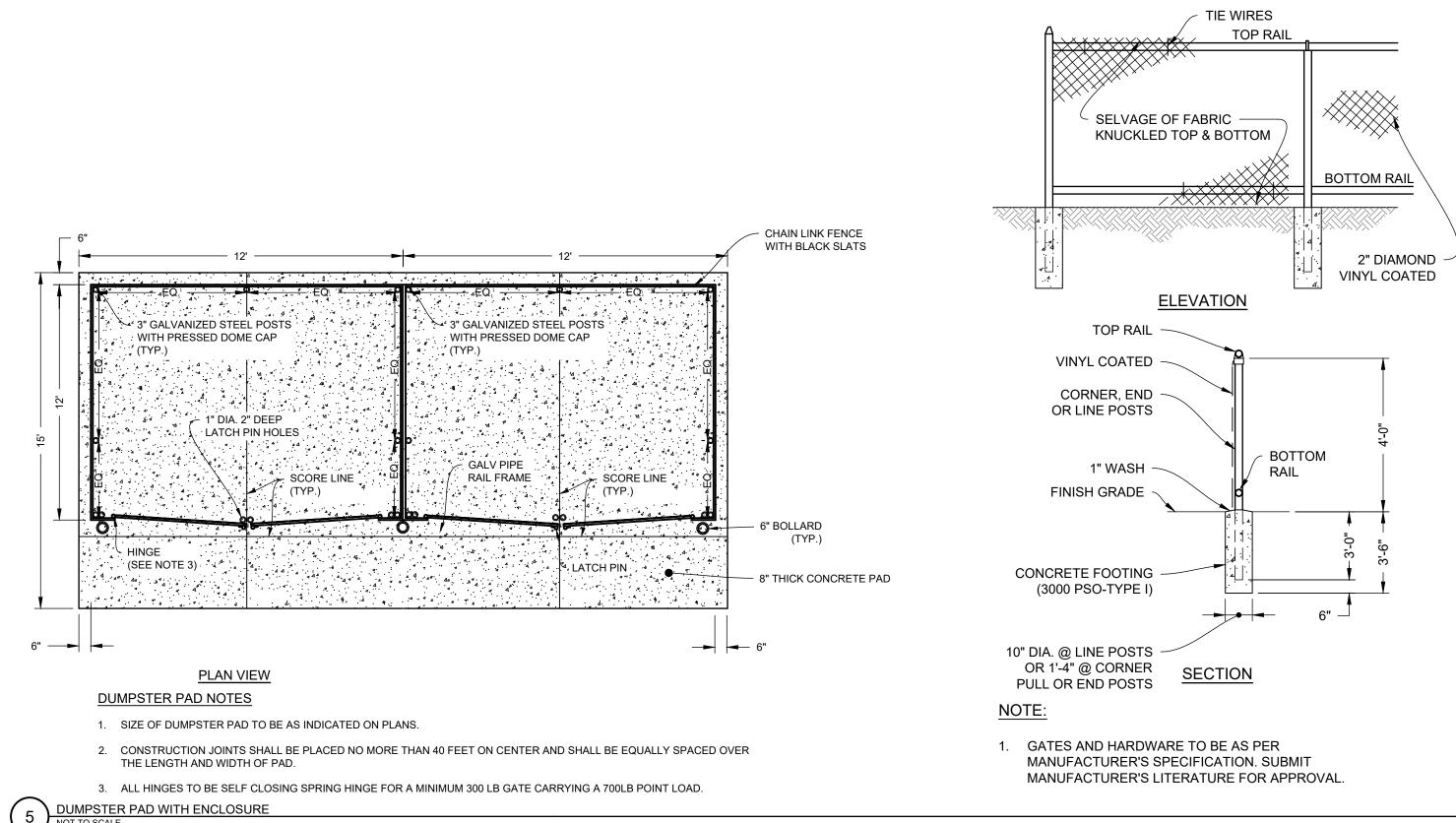
ACCESSIBLE CURB RAMP NOTES:

- BE 1.5% (1% MIN).
- CURB RAMPS SHALL BE 5%.
- SHALL BE 7.5%.
- WELLS, SIGNS, ETC.)
- 5. CURB TREATMENT VARIES, SEE PLAN FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- TO EXCEED 200 FEET.
- INSTALLED AND SET FLUSH.





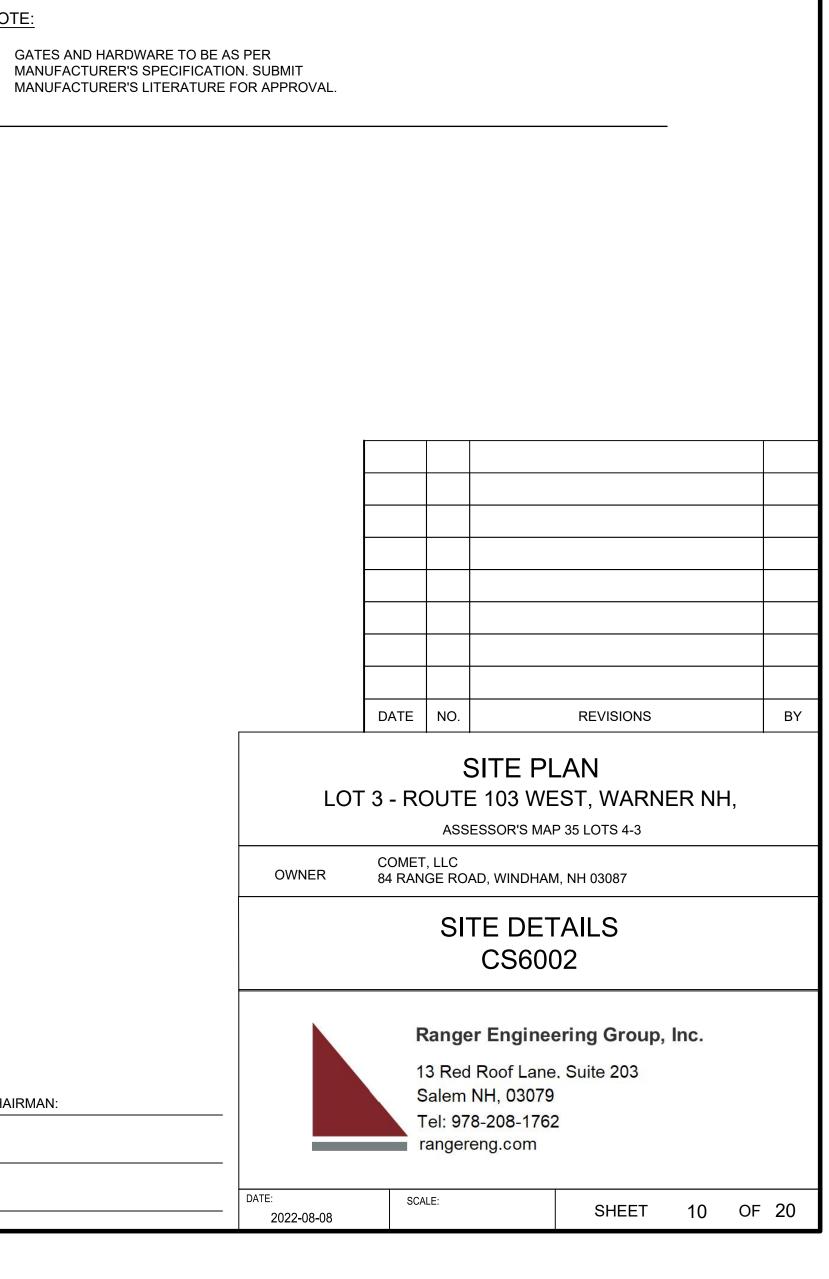


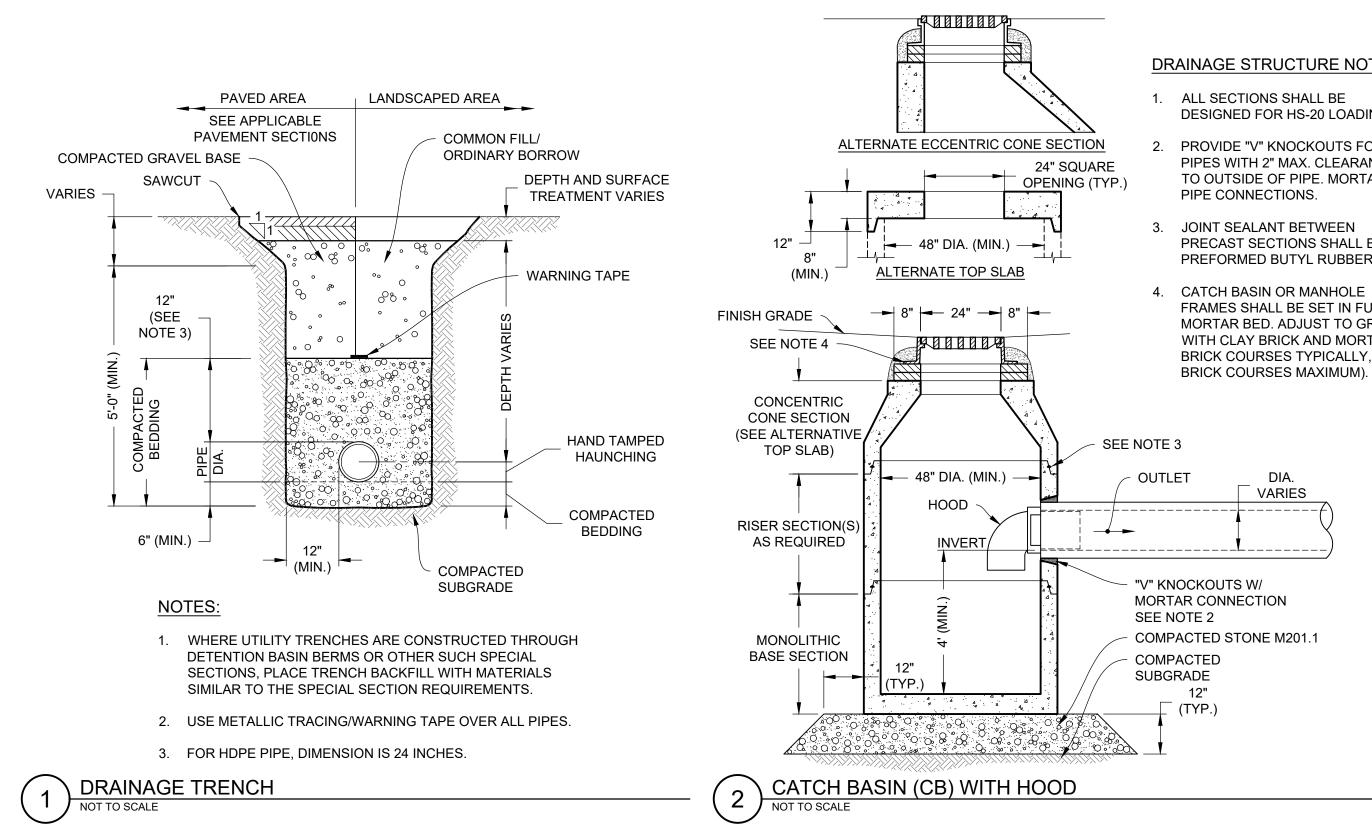




WARNER PLANNING BOARD CHAIRMAN:

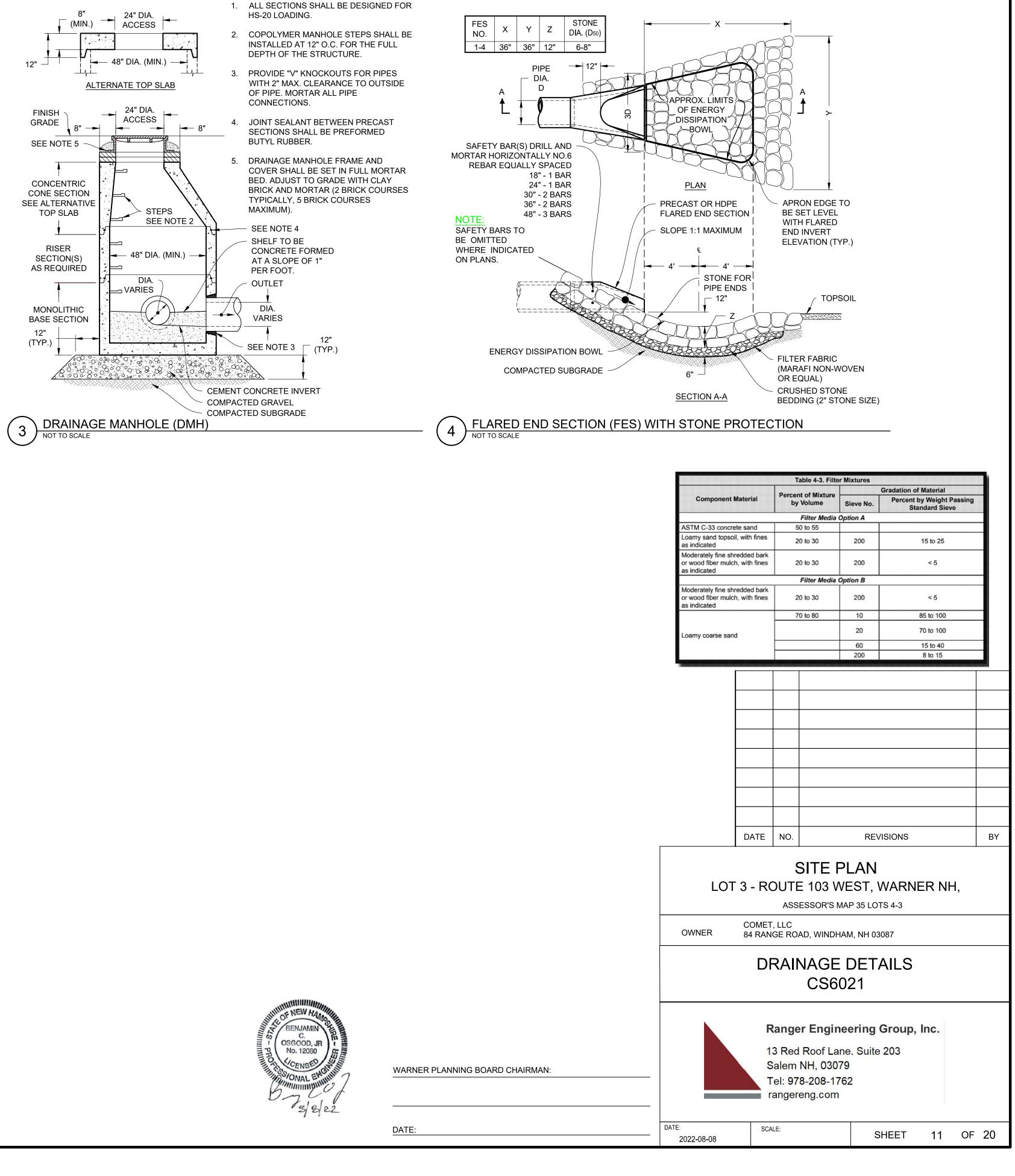
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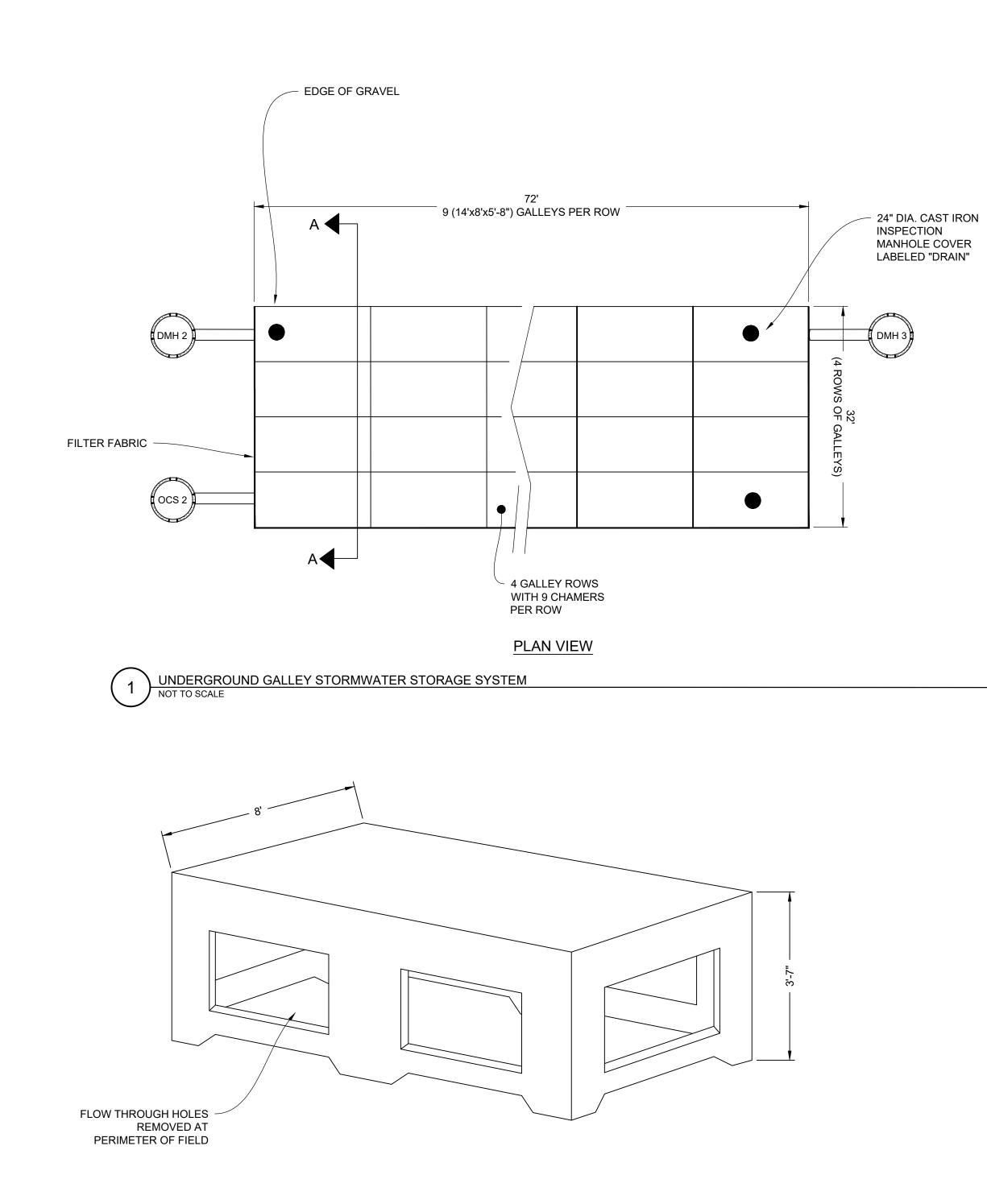
DRAINAGE STRUCTURE NOTES:

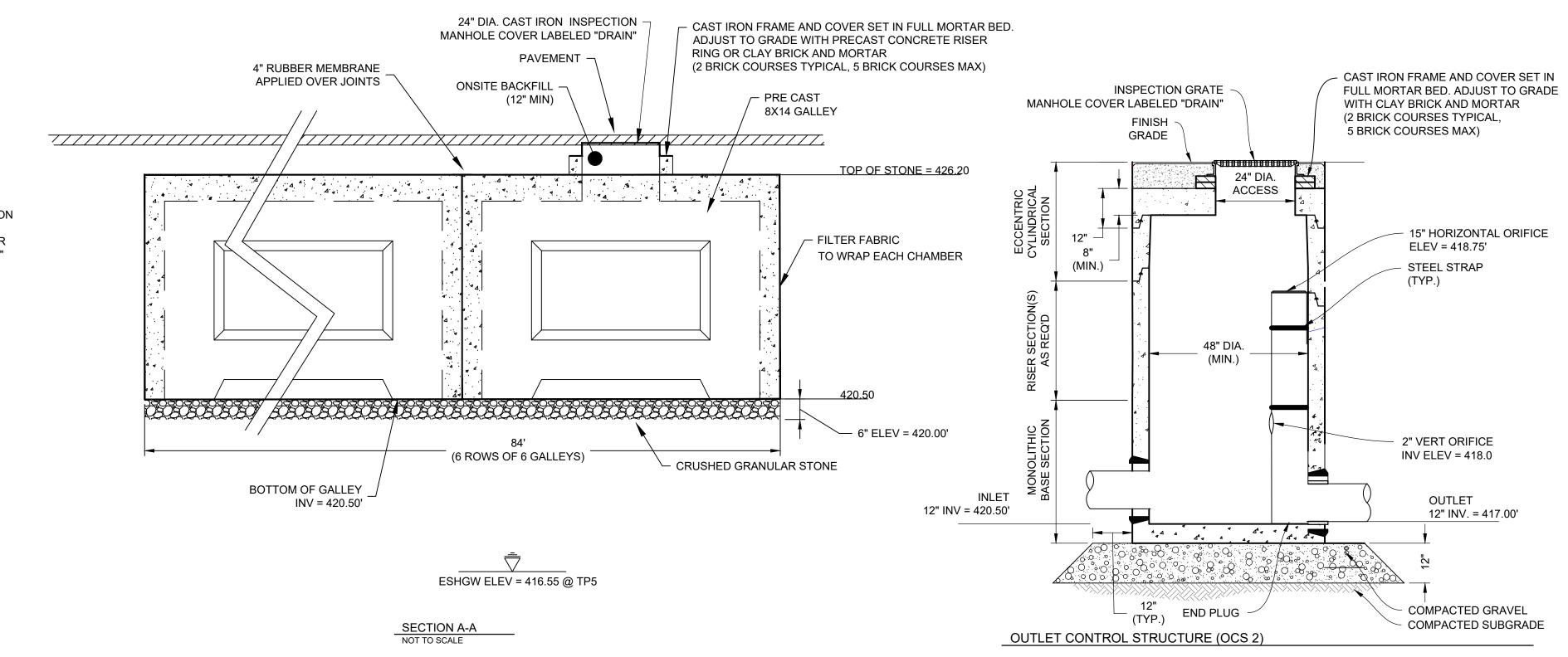
- DESIGNED FOR HS-20 LOADING.
- PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
- 4. CATCH BASIN OR MANHOLE FRAMES SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5

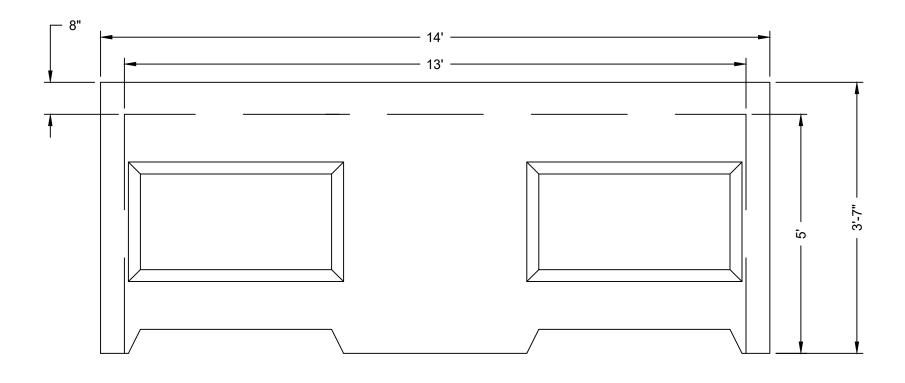




NOTES:



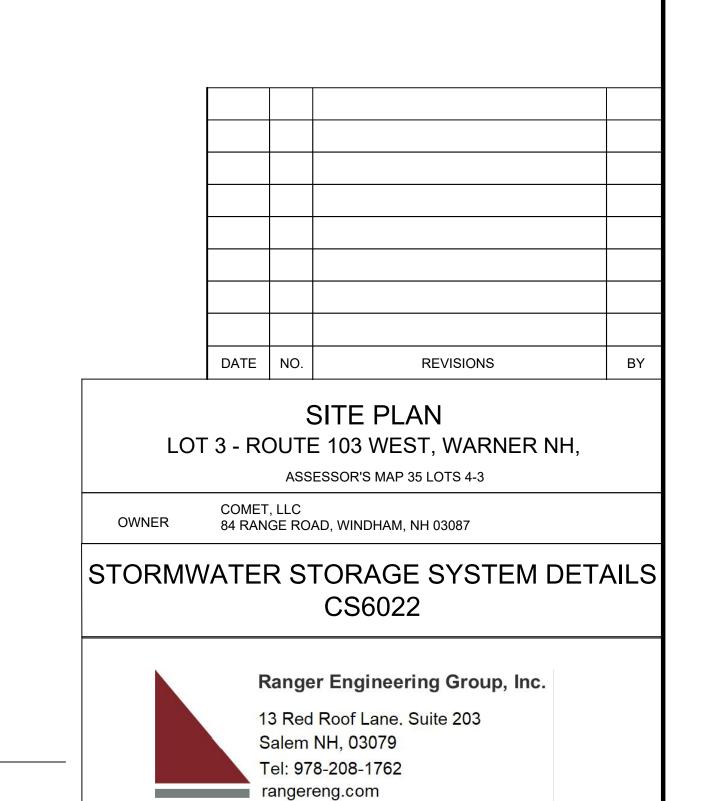






WARNER PLANNING BOARD CHAIRMAN:

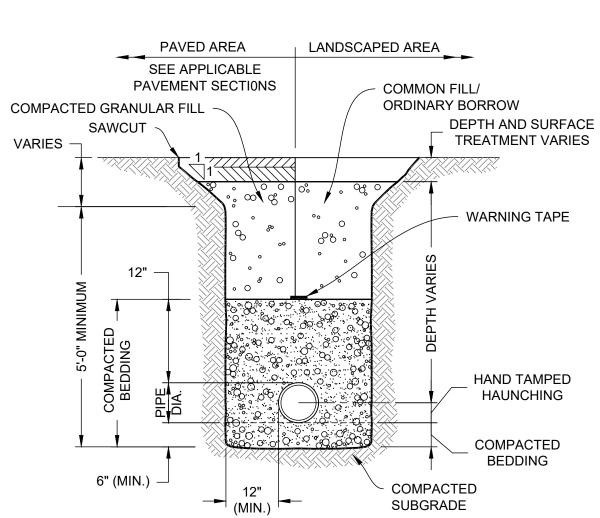
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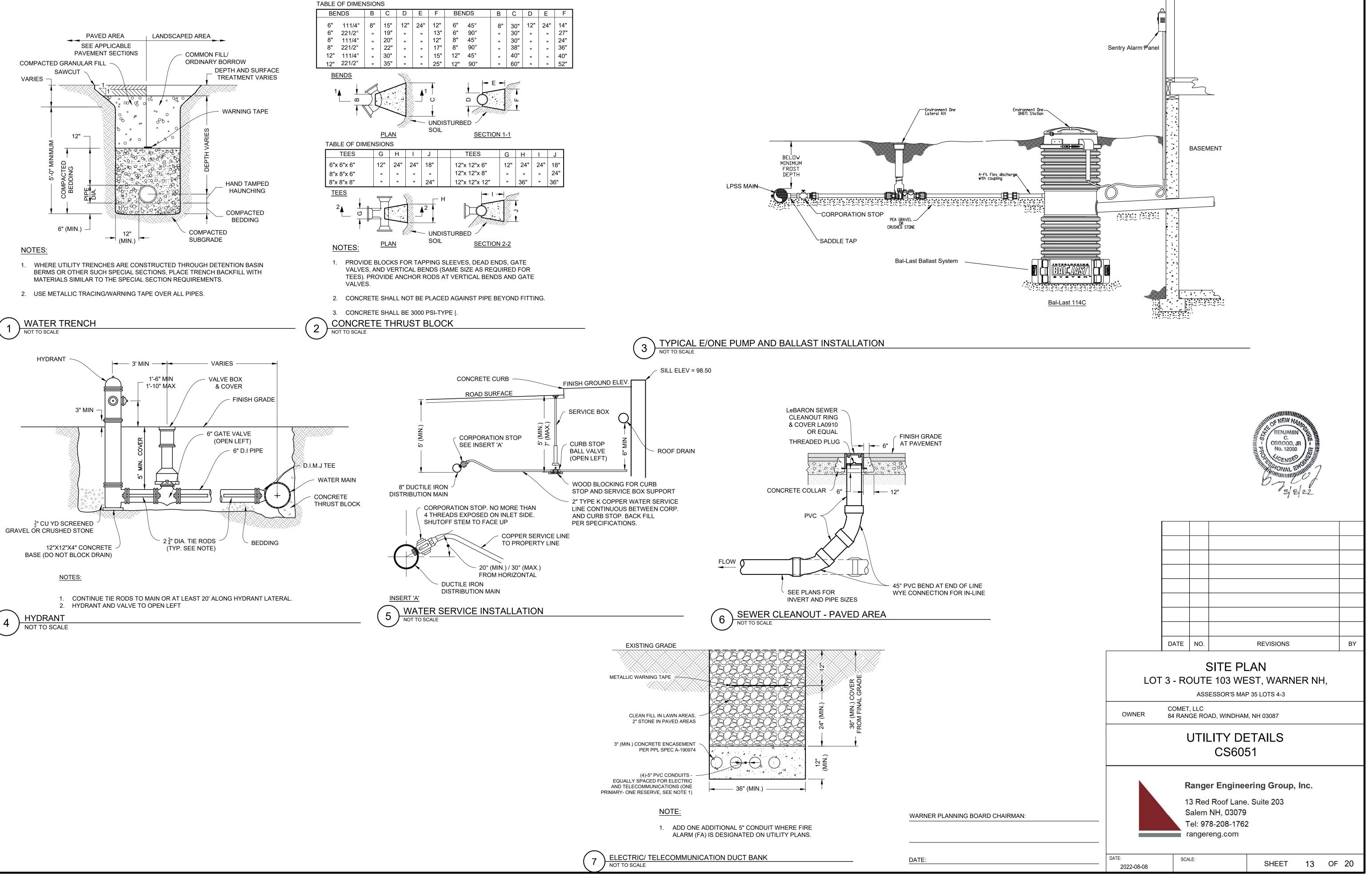


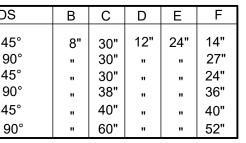
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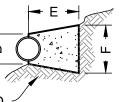
SCALE:

SHEET 12 OF 20

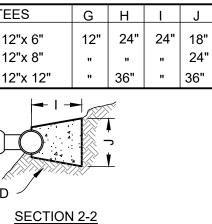


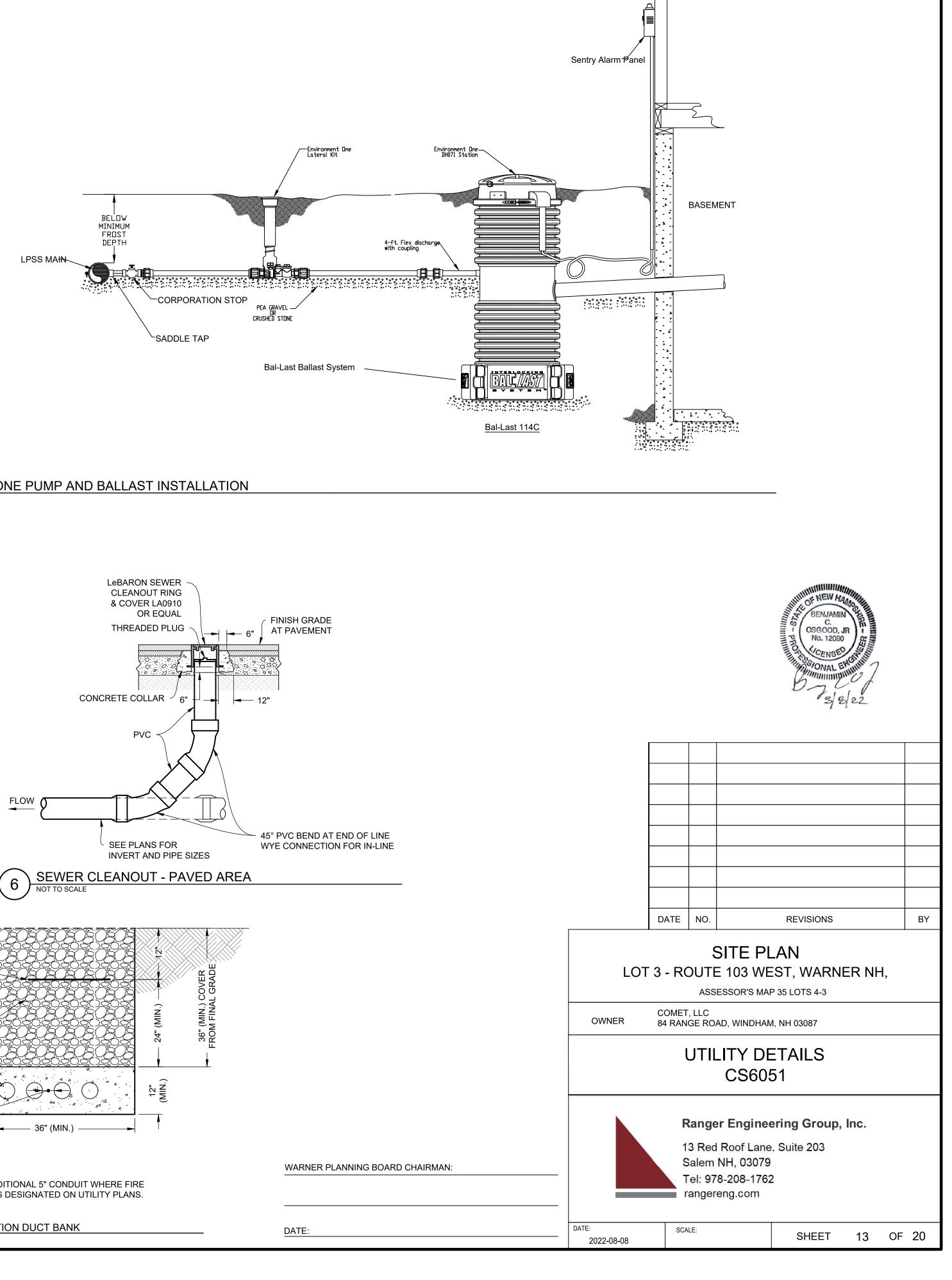


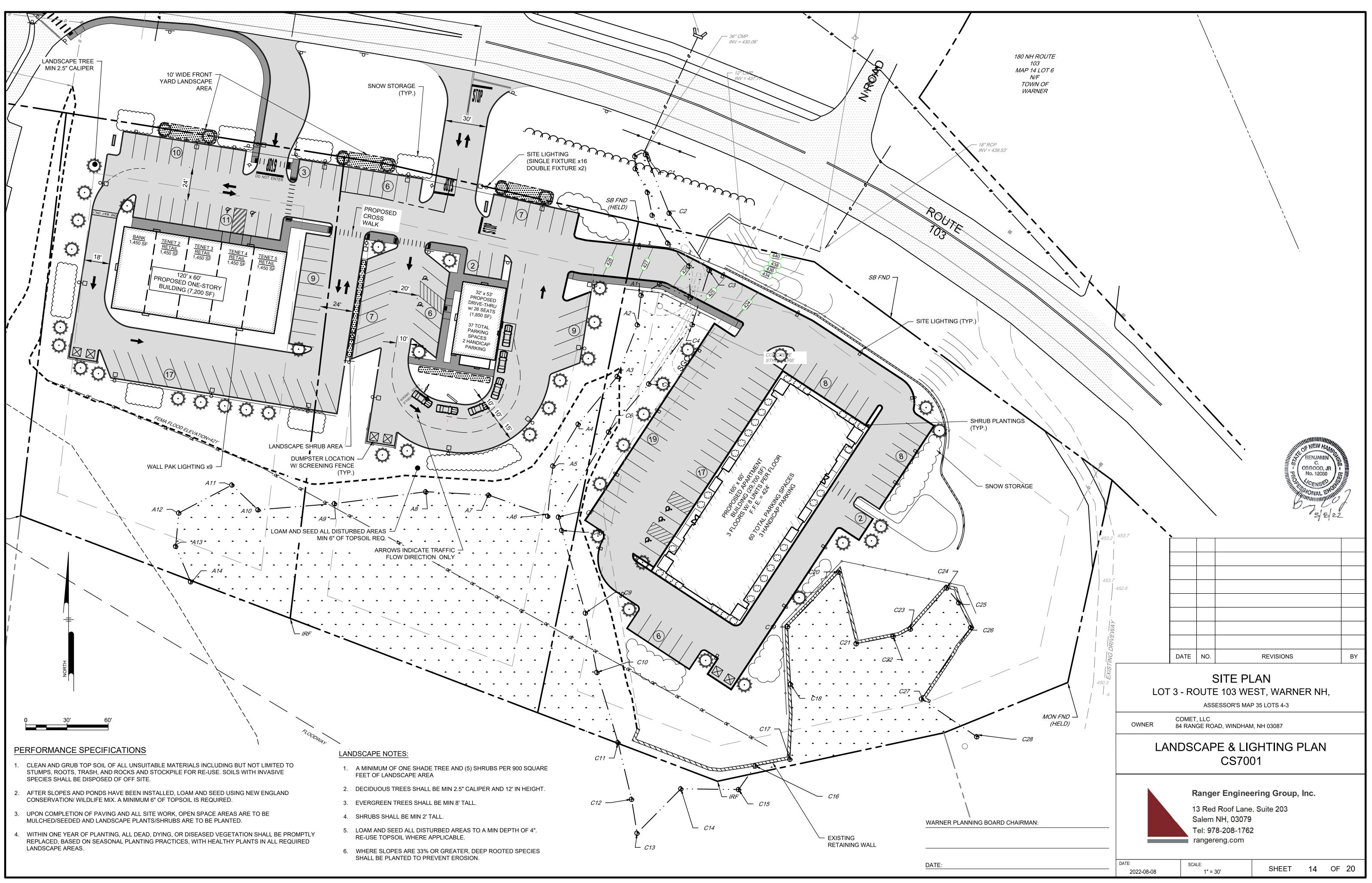


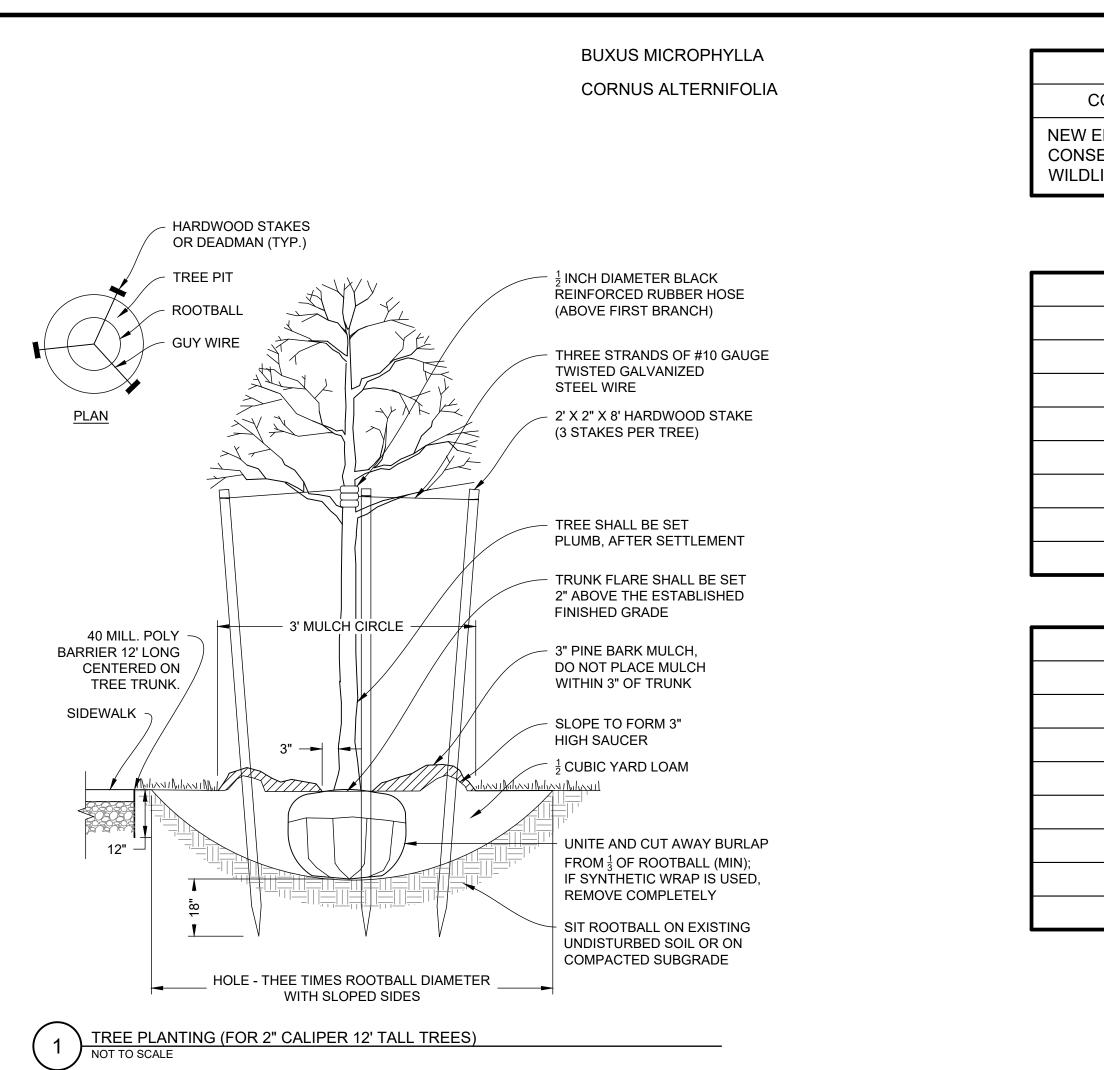












PERFORMANCE SPECIFICATIONS

- CLEAN AND GRUB TOP SOIL OF ALL UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO STUMPS, ROOTS, TRASH, AND ROCKS AND STOCKPILE FOR RE-USE. SOILS WITH INVASIVE SPECIES SHALL BE DISPOSED OF OFF SITE.
- AFTER SLOPES AND PONDS HAVE BEEN INSTALLED, LOAM AND SEED USING NEW ENGLAND CONSERVATION/ WILDLIFE MIX. A MINIMUM 6" OF TOPSOIL IS REQUIRED.
- UPON COMPLETION OF PAVING AND ALL SITE WORK, OPEN SPACE AREAS ARE TO BE MULCHED/SEEDED AND LANDSCAPE PLANTS/SHRUBS ARE TO BE PLANTED.
- WITHIN ONE YEAR OF PLANTING, ALL DEAD, DYING, OR DISEASED VEGETATION SHALL BE PROMPTLY REPLACED, BASED ON SEASONAL PLANTING PRACTICES, WITH HEALTHY PLANTS IN ALL REQUIRED LANDSCAPE AREAS.

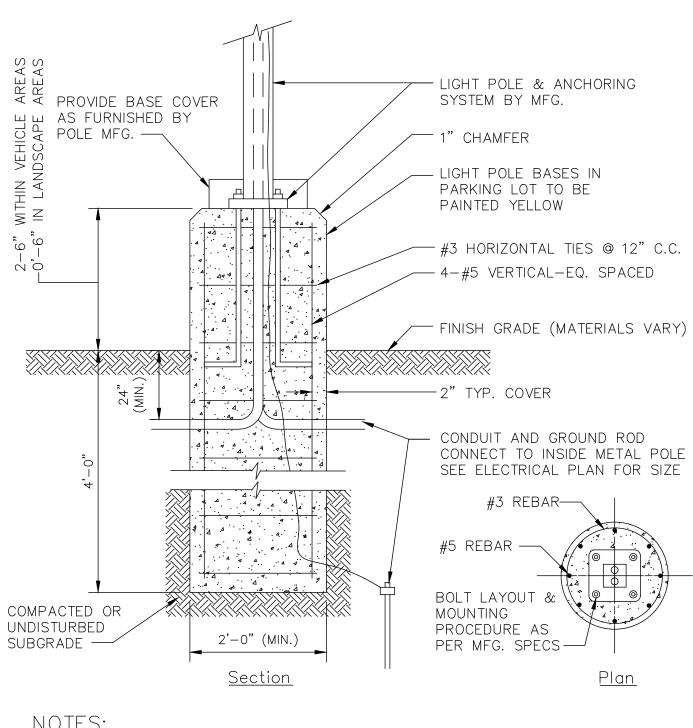
LANDSCAPE NOTES:

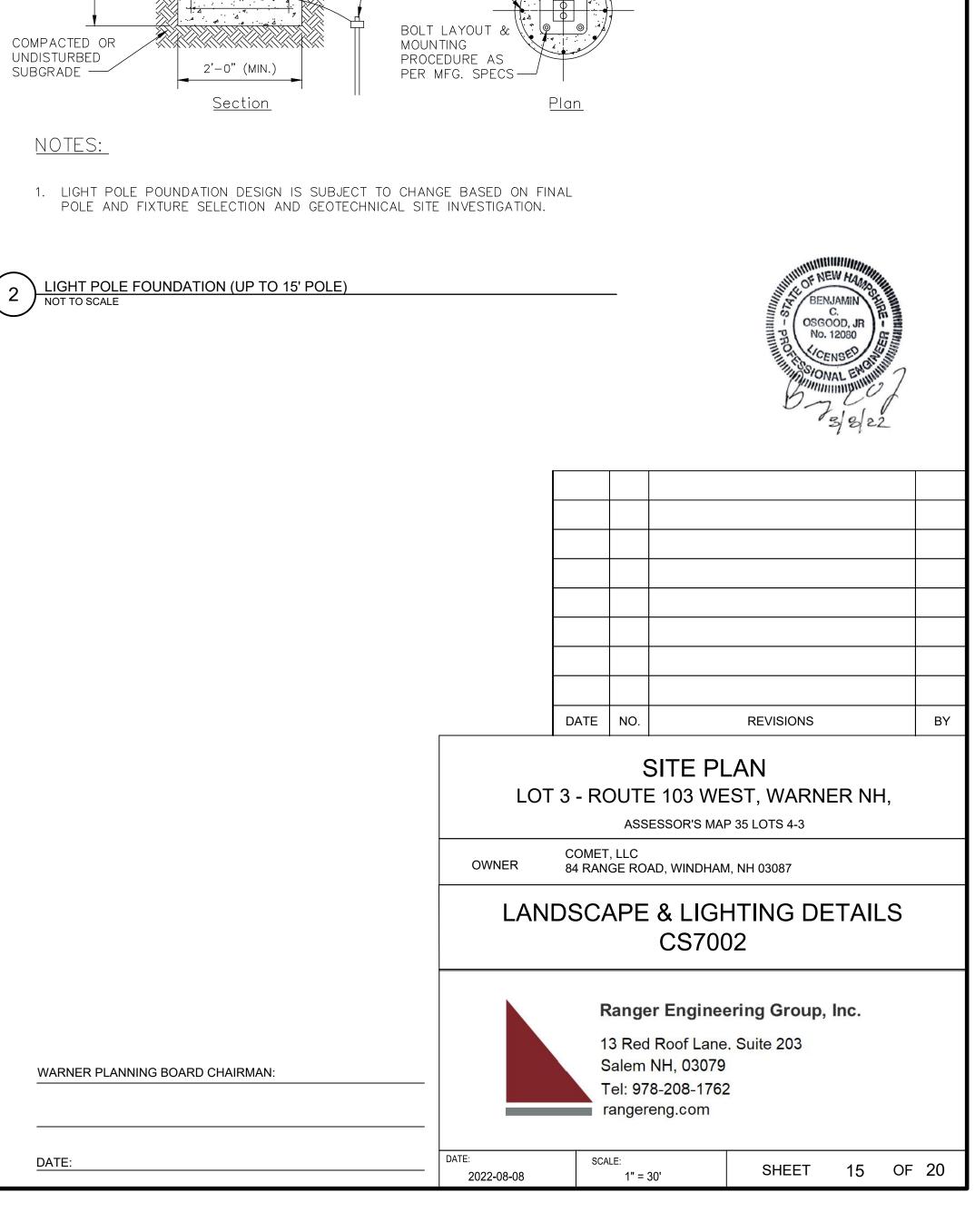
- 1. A MINIMUM OF ONE SHADE TREE AND (5) SHRUBS PER 900 SQUARE FEET OF LANDSCAPE AREA
- 2. DECIDUOUS TREES SHALL BE MIN 2.5" CALIPER AND 12' IN HEIGHT.
- 3. EVERGREEN TREES SHALL BE MIN 8' TALL.
- 4. SHRUBS SHALL BE MIN 2' TALL.
- 5. LOAM AND SEED ALL DISTURBED AREAS TO A MIN DEPTH OF 4". RE-USE TOPSOIL WHERE APPLICABLE.
- 6. WHERE SLOPES ARE 33% OR GREATER, DEEP ROOTED SPECIES SHALL BE PLANTED TO PREVENT EROSION.

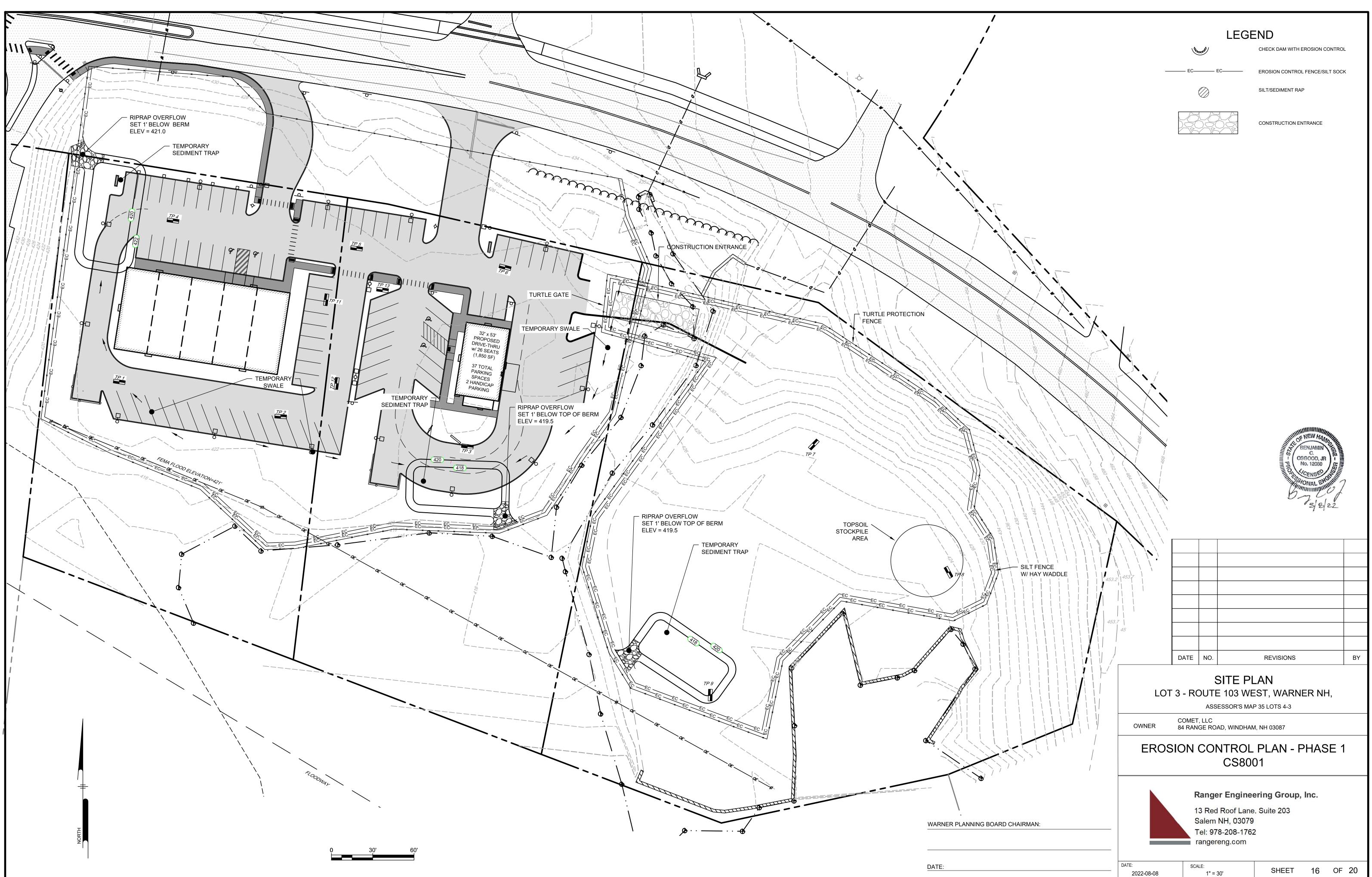
	WETLAND SEED MIX	
COMMON NAME	AMOUNT	SUPPLIER
ENGLAND ERVATION/ .IFE MIX	1.0 LB./1750 S.F.	NEW ENGLAND WETLAND PLANTS, INC

APPROVED TREE SPE	CIES	
SCIENTIFIC NAME	COMMON NAME	
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	
PICEA GLAUCA	WHITE SPRUCE	
JUNIPERUS VIRGINIANA	RED CEDAR	
ACER RUBRUM	RED MAPLE	
QUERCUS RUBRA	CRAB APPLE	
QUERCUS ALBA	WHITE OAK	
PINUS STROBUS	WHITE PINE	

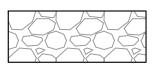
APPROVED SHRUB SPECIES				
	SCIENTIFIC NAME	COMMON NAME		
	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM		
	SPIREA BETULIFOLIA	WHITE SPIREA		
	ILEX GLABRA	EVERGREEN WINTERBERRY		
	RHODODENDRON FERRUGINEUM	RHODODENDRON		
		WINTERGEM BOXWWOD		
		ALTERNATE LEAVED DOGWOOD		





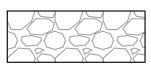


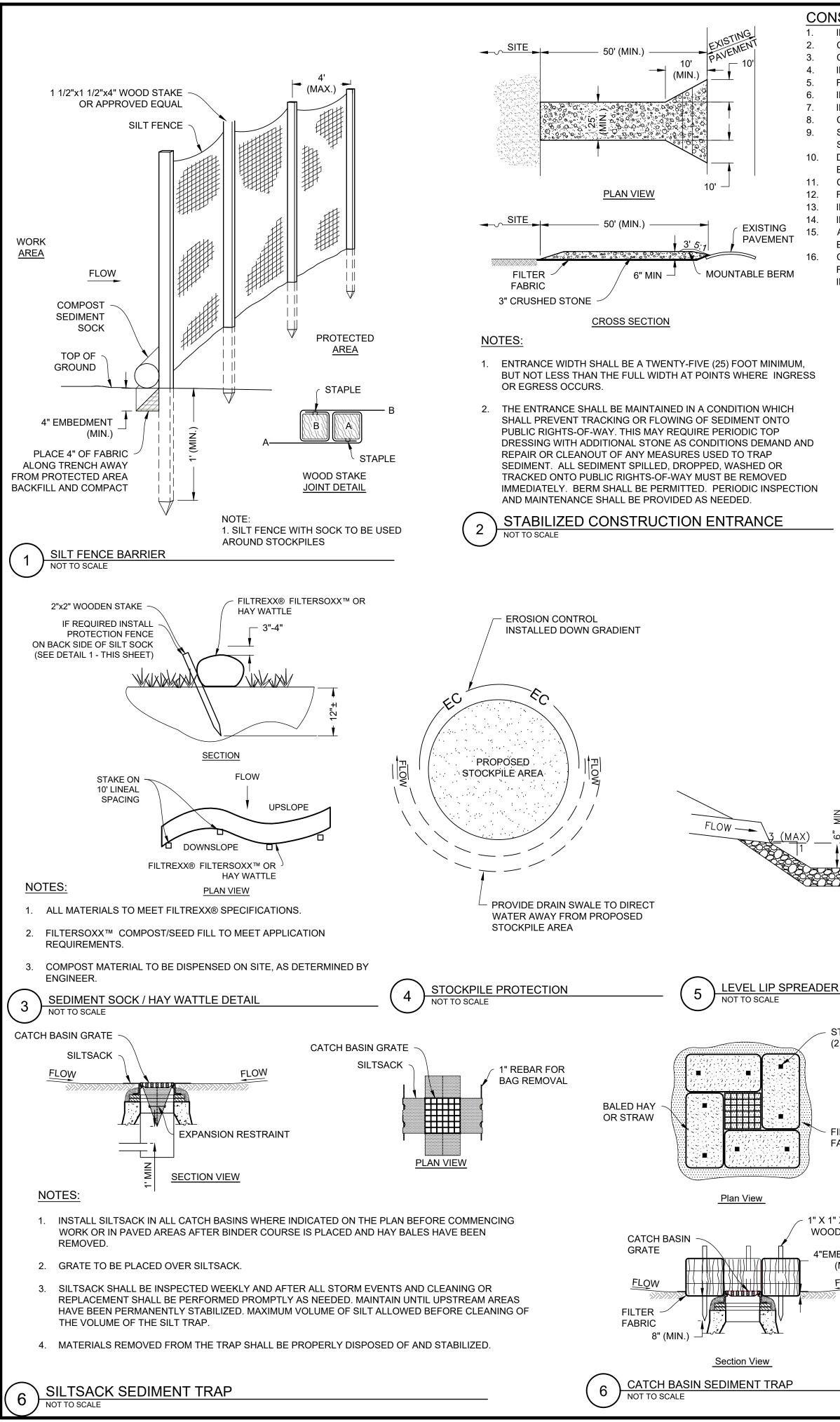












CONSTRUCTION SEQUENCE NOTES:

- INSTALL EROSION AND SEDIMENT CONTROLS AS SHOWN ON PLAN.
- COMMENCE CLEARING, GRUBBING AND EARTHWORK. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING EARTHWORK.
- INSTALL TEMPORARY SEDIMENT CONTROL BASINS
- FILL SITE TO SUBGRADE AND ROUGH GRADE.
- INSTALL STORMWATER PONDS, INFILTRATION BASINS, SWALES, AND UTILITIES.
- INSTALL BUILDING FOUNDATION.
- CONSTRUCT PAVED AREA BASE COURSES.
- STABILIZE SIDE SLOPES. SIDE SLOPES MUST BE FULLY STABILIZED BEFORE ANY STORMWATER DISCHARGE.
- DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF THE 10. ESTABLISHMENT OF FINAL GRADE.
- CONSTRUCT BUILDING. 11.
- FINAL PAVING OF DRIVEWAY AND PARKING AREAS. 12.
- INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES 13.
- INSTALL SITE LANDSCAPING AND PERMANENT SEEDING OF ALL DISTURBED AREAS. 14. 15. AFTER ALL SEEDED AREAS HAVE ESTABLISHED STABLE GROWTH, ALL TEMPORARY EROSION CONTROL CAN BE REMOVED.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL AUTHORITIES RESPONSIBLE FOR INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED **INSPECTION SIGN-OFFS.**

Table 4-1. Se	eeding Recomme	ndations fo	r Temporary Vegetation
Species	Per Acre bushels (BU) or pounds (Ibs)	Per 1,000 ft²	Remarks
Winter Rye	2 BU. or 112 lbs.	2.5 lbs.	Best for fall seeding. Seed from August 15 to September 15 for best cover. Seed to a depth of 1 inch.
Oats	2.5 BU. or 80 lbs.	2 lbs.	Best for spring seed- ings. Seed no later than May 15 for sum- mer protection. Seed to a depth of 1 inch.
Annual Ryegrass	40 lbs.	1 lb.	Grows quickly, but is of short duration. Use where appear- ances are important. Seed early spring and/or between August 15 and Sep- tember 15. Cover the seed with no more than 0.25 inch of soil.
Perennial Ryegrass	30 lbs. ick, E.L. and H.T.	0.7 lb.	Good cover which is longer lasting than annual ryegrass. Seed between April 1 and June 1 and/or between August 15 and September 15. Mulching will allow seeding throughout the growing season. Seed to a depth of approximately 0.5 inch.

RIPRAP LEVEL COMPACTED SPREADER LIP SUBGRADE SECTION A-A

STAKES (2 PER BALE)	
FILTER FABRIC	<u>NOTES:</u>
	1. ENCLOSE STRUCTURE WITH HAYBALES IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION. MAINTAIN UNTIL PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
1" X 1" X 3' WOOD STAKE	2. IF GRATE IS AGAINST EXISTING CURB THEN HAY BALES ARE TO BE PLACED AROUND THREE SIDES OF GRATE ONLY.
_ 4"EMBEDMENT (MIN.)	3. GRATE TO BE PLACED OVER FILTER FABRIC.
FLOW	4. BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

OPERATION AND MAINTENANCE:

CONSTRUCTION PHASE

THE BMP's ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY THE CONTRACTO RESPONSIBLE FOR INSPECTION, OPERATION AND MAINTENANCE. THE PROJECT IS A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHA RELATIVE TO INVASIVE SPECIES

- 1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL PHYSICALLY MARK TH LAND DISTURBANCE ON THE SITE AND INSTALL PERIMETER CONTROLS.
- 2. THE CONTRACTOR IS TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOW PLANS.
- 3. PRIOR TO CONSTRUCTION, ALL EROSION/SILTATION CONTROL DEVICES SHOW ARE TO BE INSTALLED. TO PREVENT SILT INTRUSION INTO THE DRAINAGE SYST CONSTRUCTION, THE CONTRACTOR IS TO INSTALL AND MAINTAIN INLET PROTE CATCH BASINS, AND SET A SILT FENCE OR SEDIMENT SOCK AT ALL SLOPES WH THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES, SUCH PREVENTIVE MEASU MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. TEMPORARY CONTI INSTALLED TO REDUCE DUST AND SEDIMENT TRANSPORT. EROSION CONTROL NOT CONTAIN WELDED PLASTICS, PLASTIC, OR MULTI/MONO-FILAMENT POLYPR OR MESH.
- 4. CONSTRUCTION OF DRAINAGE FACILITIES IS TO BE INSPECTED BY DESIGN ENG CONFORMANCE TO THE DESIGN PLAN.
- 5. THE SEQUENCE OF DRAINAGE CONSTRUCTION SHALL BE AS FOLLOWS: A. CLEAR, GRUB, EXCAVATE AREAS FOR DRAINAGE SYSTEMS. B. TRENCH AND INSTALL PIPES, CATCH BASINS MANHOLES C. INSTALL INLET PROTECTION.
- 6. EROSION CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A WEEKLY BA EVERY HALF INCH OF RAIN FALL. UPON DISCOVERY OF SILT BUILD-UP IN ANY CA OR ANY OTHER STRUCTURES, THEY ARE TO BE CLEANED.
- 7. ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MUL BLANKETS-AS NEEDED FOR SLOPES STEEPER THAN 3:1.
- 8. TEMPORARY WATER DIVERSION MUST BE USED AS NECESSARY UNTIL AREAS
- 8.1. DITCHES AND SWALES SHALL BE STABILIZED BEFORE DIRECTING WATER T 8.2. ROADWAYS AND PARKING LOTS SHALL BE STABILIZED BEFORE DIRECTING
- 8.3. CUT AND FILL SLOPES SHALL BE SEEDED/ LOAMED WITHIN 72 HOURS OF AC GRADE
- 9. MULCH BERMS SHALL BE USED ONLY WHERE SHEET FLOW OCCURS AND WHER SLOPE IS LESS THAN 5%. BERM MUST BE AT LEAST 12" HIGH AND 2 FEET WIDE.
- 10. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURE BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A WEEKLY BASI CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP O
- 11. AFTER PAVING IS INSTALLED, IT SHALL BE SWEPT CLEAN ON A REGULAR BASIS
- 12. IF DEWATERING IS NECESSARY DURING CONSTRUCTION, THE WATER WILL BE TOTAL SUSPENDED SOLIDS (TSS) REMOVAL PRIOR TO DISCHARGE TO RECEIVIN

POST-DEVELOPMENT PHASE

THE OWNER(S) IS TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE STRU PROJECT - INCLUDING ROOF DRAINS, DRAIN PIPES, CATCH BASINS, AND DRAIN MA

REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:

- 1. INSPECTION OF ALL DRAINAGE FACILITIES (CATCH BASINS, PIPES, OUTLET CON STRUCTURES, AND DETENTION BASINS) EVERY THREE MONTHS. DURING THESE THE INSPECTOR (A REGISTERED PROFESSIONAL CIVIL ENGINEER QUALIFIED IN SYSTEMS) SHALL LOOK FOR EVIDENCE OF THE FOLLOWING: STRUCTURAL DAM ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS AND OUTLET CONTR AND IMPROPER FUNCTION. A REPORT ON THE SYSTEM SHALL BE DELIVERED T
- AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE INSPECTOR OWNER. WHO SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AN REMOVAL.
- 3. THE PAVEMENT AREA IS TO BE SWEPT CLEAN, AS REQUIRED (I.E., VISUALLY NO BUILD-UP). A MINIMUM OF ONCE PER YEAR.
- 4. ALL GRADED SLOPES SHALL BE INSPECTED EVERY SPRING FOR EROSION. UPO ANY FAILURE (IE. EROSION), LOAM AND SEED SHALL BE PUT IN PLACE AND NUR
- 5. DURING THE WINTER MONTHS, ALL SNOW IS TO BE STORED SUCH THAT SNOW CONTROLLED WITHIN THE PAVED AREA.

WINTER CONSTRUCTION SEQUENCE NOTES

 ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIB MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15 WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CON BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING PLACING 3-4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORING NETTING, ELSEWHERE. THE INSTALLATION (EROSION CONTROL BLANKETS OR MULCH AND NETTING NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THA SPRING MELT EVENTS.

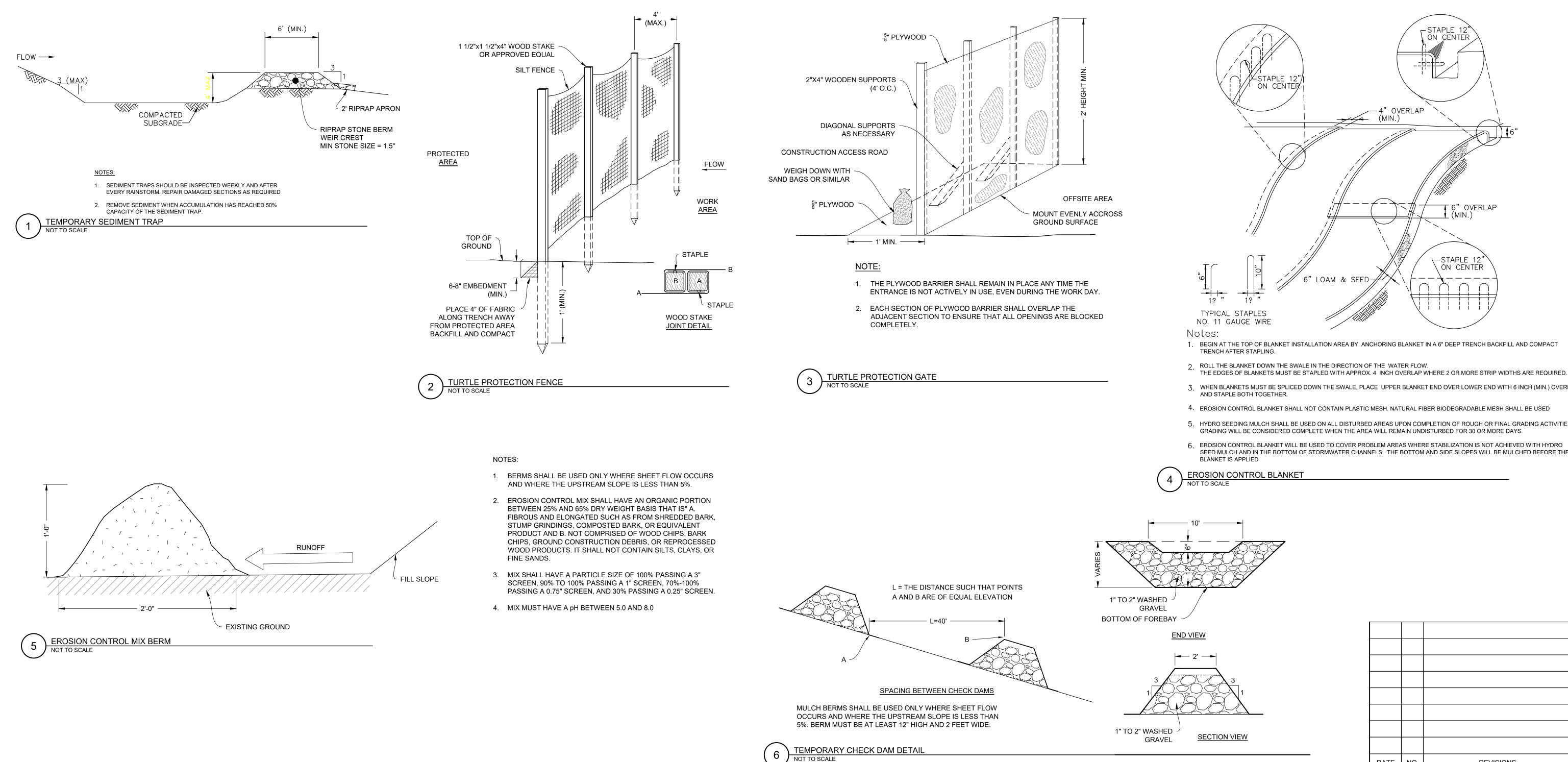
- 2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MININ 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLAN APPROPRIATE FOR THE FLOW.
- 3. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTE SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3

WARNER PLANNING BOARD C

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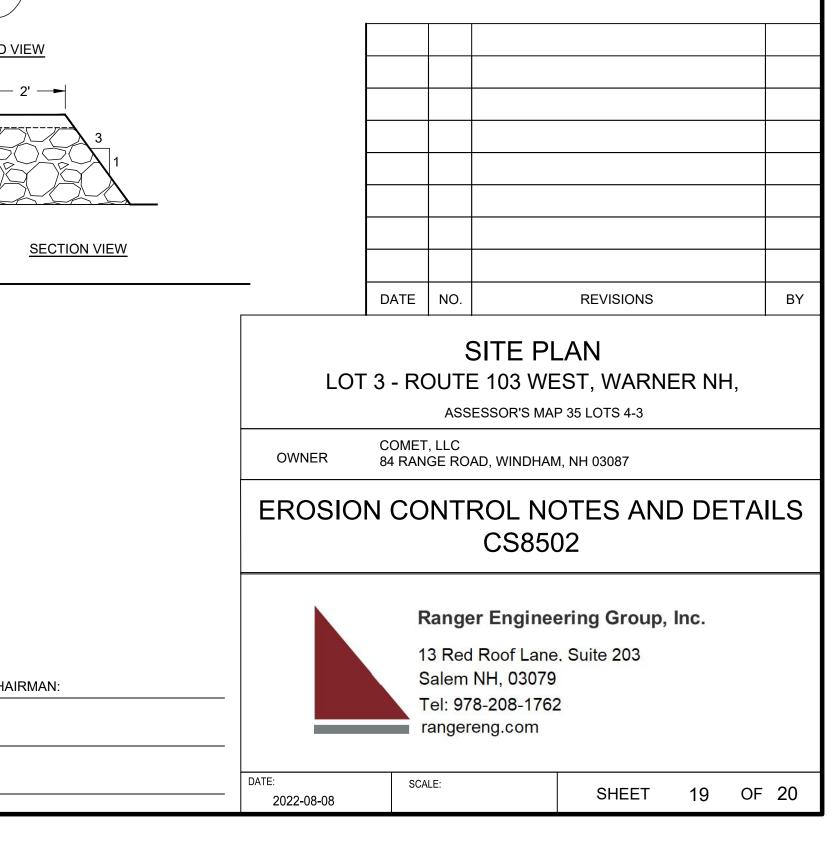
EROSION CONTROL NOTES (DURING CONSTRUCTION)

OR, WHO WILL BE	1.	THE CONTRACTOR MUST INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND DETAILS PRIOR TO STARTING ANY OTHER WORK ON THE SITE. EROSION CONTROL MUST BE INSTA AT EVERY INLET STRUCTURE (EXISTING AND PROPOSED) AND MAINTAINED FOR THE DURATION O PROJECT.									LLED
PTER AGR 3800	2.	EROSION CONTROLS AS SHOWN ON PLANS SHALL BE INSPECTED, REPAIRED AND/OR MAINTAINED BY THE CONTRACTOR DAILY AND WITHIN 12 HOURS OF EACH STORM EVENT.									
HE LIMITS OF NO	3.		IT DEPOSITS CE OR SEDIM			D WHEI	N THEY REACH	A DEPTH OF 1/4 T	O 1/2 THE I	HEIGHT	OF TH
WN ON THE SITE N ON ABOVE PLAN	4.	STRUCTU						SITE, AWAY FROM BE REMOVED BY S			AND
TEM DURING ECTION AT ALL HICH MAY ERODE IN URES ARE TO BE	5.				•			CAL) WITH SEED, S ON DURING CONST		JEOTEX	TILE
ROLS SHALL BE DEVICES SHALL COPYLENE NETTING	6.	REMAIN L STOCKPII	JNDISTURBEI LES. WASHEI	D FOR A I D OUT OF	PERIOD GF R ERODED	REATER AREAS	THAN 30 DAYS	NY ROUGH GRADE S AND UPON LONG STABILIZED WITH A ' SEED SPECIES SI	STANDING	G SOIL L COMP	ACTE
GINEER TO VERIFY	7.	STABILIZE	E PAVEMENT	AREAS V	VITHIN 72 I	HOURS	OF ACHIEVING	FINISHED GRADE			
	8.	CLEAN OU CONSTRU		ASINS, DF	ain Manh	IOLES A	ND STORM DR	AIN PIPES AFTER (COMPLETIC	ON OF	
	9.	-		-				IG SHALL OCCUR FALL BETWEEN AU		-	-
ASIS OR AFTER ATCH BASIN SUMPS,	10.	-	ALL BE CONT EXTENDED DI	-		TE WITH	I MECHANICAL	WATER SPRAYING	GAS NECES	SSARY /	AND
LCH HAY OR JUTE	11.		TABLISHMEN W WATTLES /			VEGETA	TION OVER DI	STURBED AREAS,	REMOVE A	ND DISF	POSE
AREA STABILIZED. TO THEM . WATER TO THEM CHIEVING FINISH	12.	SEDIMEN ANY REG AND/OR S	ITATION CON ULATED RES SILTATION SH	TROLS AS OURCE A	S NECESS REAS. FAI CAUSE FOF	ARY TO LURE B R THE C	PREVENT SED Y THE CONTRA WNER TO EMP	AND SUPPLEMEN MENTATION OF O ACTOR TO CONTRO LOY OUTSIDE ASS SURE, THE COST C	FF-SITE AF DL EROSIO	REAS AN N, POLL DR TO U	LUTION
RE THE UPSTREAM	10	PLUS PRO	OJECT ENGIN	IEERING	COSTS WI	LL BE T	HE CONTRACT	OR'S RESPONSIBIL	ITY.		
ES AND PIPES SHALL ON OF OTHER SITE SIS AND OR DAMAGE.	13.	GOOD OF MAINTAIN RAINFALL	PERATING CC NED BY THE C _ OR MORE, E D BY THE ENG	ONDITION CONTRAC EROSION	. EROSION TOR WITH CONTROL	I CONTF IN 12 H S SHAL	ROLS SHALL AL OURS OF ANY S L BE REPLACE	I CONTROLS WEEF SO BE INSPECTED STORM EVENT PRO D WHEN DETERIOF REMOVED WHEN T), REPAIRE DDUCING 1 RATED, OR	D AND /2 INCH WHEN	OF
TREATED FOR NG WATER.	14.	EROSION EMBANKN	CONTROLS	SHALL BE	INSTALLE	ED AT T	HE FOLLOWING	ON THE GRADING LOCATIONS: TOE ORK STOCKPILES.	OF SLOPE	OF	
	15.		I AND SEDIME	-	I CONTRO	L SHALI	BE IN COMPLI	ANCE WITH MASS	ACHUSETT	S	
UCTURES IN THE NHOLES.	16.	A. BASI B. A MII C. A MII	E GRAVELS H NIMUM OF 85 NIMUM OF 3"	HAVE BEE 5% VEGET OF NON-	EN INSTALL TATED GRO EROSIVE I	LED IN A OWTH F MATERI	AREAS TO BE P IAS BEEN ESTA	BLISHED. FONE OR RIPRAP F		NSTALL	.ED.
ITROL E INSPECTIONS, I DRAINAGE	17.	E. ALL /	AREAS SHAL	L BE STA	BILIZED W	ITHIN 4	5 DAYS OF INIT	IAL DISTURBANCE		O CASE	
IAGE, SILT OL STRUCTURES), O THE OWNER.	10	THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION BUT IN NO CASE EXCEED 2.75 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED ANY SEDIMENTS REMOVED ROM EROSION CONTROL DEVICES, CATCH BASINS, AND STORMWATER									
R SHALL NOTIFY THE ND/OR SEDIMENT	10.	STRUCTU		BE DISPO				STATE REGULATIC			``````````````````````````````````````
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WARNER PLANNING BOARD CHAIRMAN:



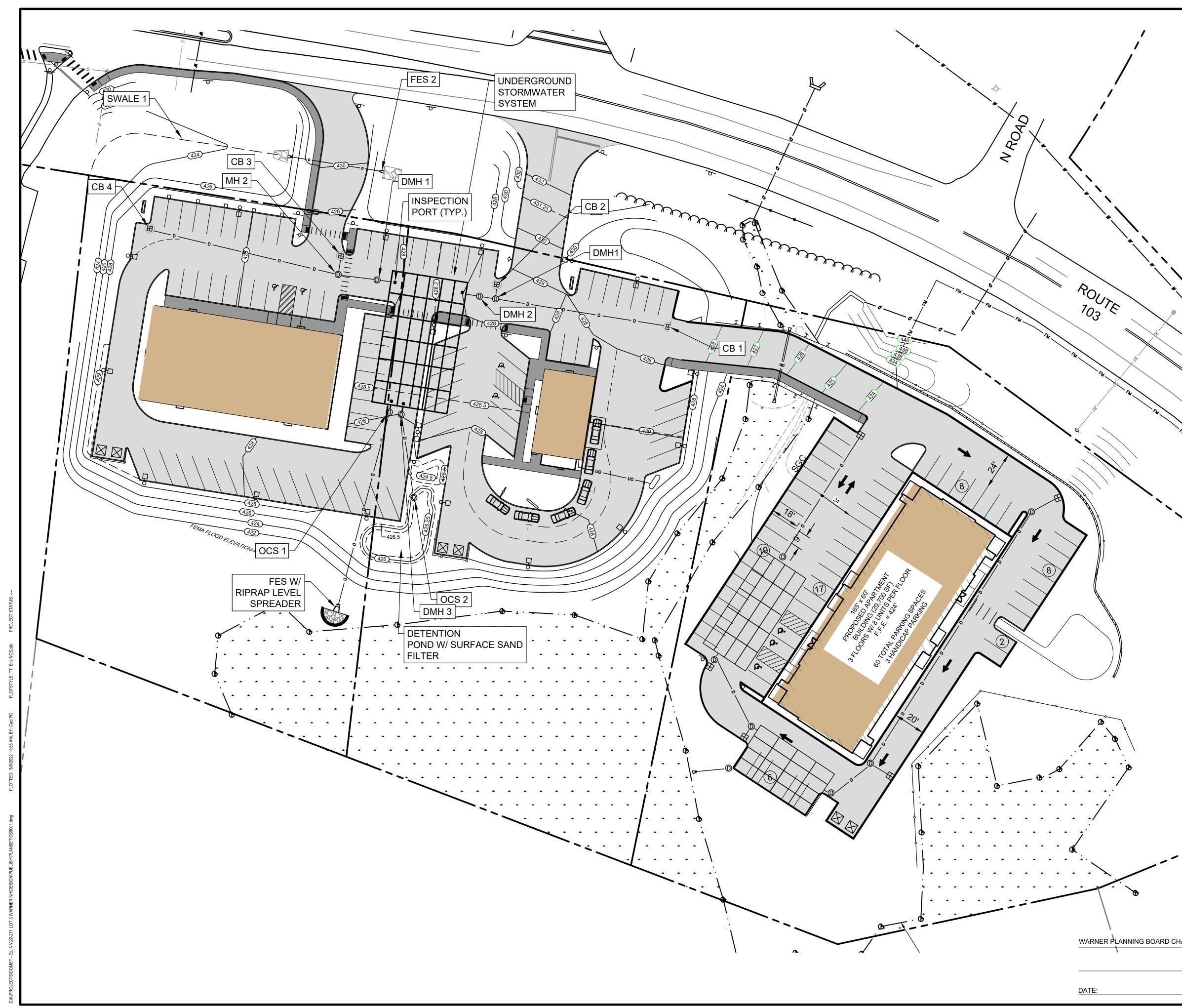
3. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP

4. EROSION CONTROL BLANKET SHALL NOT CONTAIN PLASTIC MESH. NATURAL FIBER BIODEGRADABLE MESH SHALL BE USED

5. HYDRO SEEDING MULCH SHALL BE USED ON ALL DISTURBED AREAS UPON COMPLETION OF ROUGH OR FINAL GRADING ACTIVITIES.

GRADING WILL BE CONSIDERED COMPLETE WHEN THE AREA WILL REMAIN UNDISTURBED FOR 30 OR MORE DAYS.

6. EROSION CONTROL BLANKET WILL BE USED TO COVER PROBLEM AREAS WHERE STABILIZATION IS NOT ACHIEVED WITH HYDRO SEED MULCH AND IN THE BOTTOM OF STORMWATER CHANNELS. THE BOTTOM AND SIDE SLOPES WILL BE MULCHED BEFORE THE



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CHAIRMAN:		13 Red F Salem N	Roof Lane. IH, 03079 -208-1762	ring Group, Suite 203	Inc.	
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